

Meeting of the Upper Thames River Conservation Authority Hearing Committee - Agenda

Date: Tuesday August 27, 2024

Time: 1:00pm

Location: 1424 Clarke Road, London, Watershed Conservation Centre Board Room

Memo to Hearing Committee Members: Sandy Levin, Paul Mitchell, Brian Petrie, Mark Schadenberg, Dean Trentowsky

Please be advised that a meeting of the Hearings Committee will be as follows:

1. Approval of Agenda

2. Declaration of Conflicts of Interest

3. Minutes of the Previous Meeting – May 28, 2024

4. Business Arising from the Minutes

5. Application #114-24

Proposed development within an area regulated by the Upper Thames River Conservation Authority at 75 Blackfriars Street in the City of London, Ontario.

6. Adjournment

<original signed by>

Tracy Annett, General Manager

NOTICE OF HEARING

IN THE MATTER OF

The Conservation Authorities Act, R.S.O. 1990, Chapter C. 27 as amended;

AND IN THE MATTER OF

An Application By:

Landowner: Southside Construction Management Limited c/o Vito Frijia

Agent: Zelinka Priamo Limited c/o Dave Hannam (Application #114-24)

For the permission of the Upper Thames River Conservation Authority pursuant to Regulations made under Section 28 of said Act.

TAKE NOTICE that a hearing before the Hearings Committee of the Upper Thames River Conservation Authority will be held under Section 28 of the Conservation Authorities Act at the offices of said Authority at the UTRCA Administration Office, 1424 Clarke Road, London, Ontario N5V 5B9 at the hour of 1:00 pm, Tuesday, August 27, 2024 with respect to the application by Southside Construction Management Limited c/o Vito Frijia to permit development within a riverine flood hazard associated with the North Thames River, referred to as the West London Potential Special Policy Area (SPA), and within an area regulated by the Upper Thames River Conservation Authority under Section 28 of the Conservation Authorities Act and Ontario Regulation 41/24 at 75 Blackfriars Street in the City of London, Ontario.

TAKE NOTICE THAT you are invited to make a delegation and submit supporting written material (electronically) to the Hearings Committee for the meeting of August 27, 2024. If you intend to appear and/or submit further written material, please contact Jessica Schnaithmann ((519)-451-2800 ext. 307, e-mail schnaithmannj@thamesriver.on.ca). Any further written material (submitted electronically) will be required as soon as possible, to enable the Committee members to review the material prior to the meeting.

AND FURTHER TAKE NOTICE that if you do not attend at this Hearing, the Hearings Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings.

PLEASE NOTIFY THIS OFFICE by 12:00 noon August 21, 2024 (local time) as to whether you and/or your agent(s) will be attending. A copy of Ontario Regulation 41/24 and Section 28 of the Conservation Authorities Act will be made available to you upon request.

DATED the 19th Day of August, 2024

Registered

The Hearings Committee of
The Upper Thames River Conservation Authority

<original signed by>

Tracy Annett, General Manager/Secretary-Treasurer

HEARING PROCEDURES

1. Motion to sit as a Hearings Committee to consider the application by
Landowner: Southside Construction Management Limited c/o Vito Frijia
Agent: Zelinka Priamo Limited c/o Dave Hannam, 75 Blackfriars Street in the City
of London, Ontario (Application #114-24)
2. Chair's opening remarks.
3. Staff will introduce Hearings Committee members (and the UTRCA Solicitor if
present) to the applicant/owner, his/her agent and others wishing to speak.
4. Staff will indicate the nature and location of the subject application.
5. Staff will present their report on the application.
6. The applicant and/or his/her agent will speak and also make any comments on
the staff report, if he desires.
7. Members of the Hearings Committee will question, if necessary, both the staff
and the applicant/agent.
8. The Hearings Committee may make a motion to adjourn and go into camera
and/or may make a motion to arrange to visit the subject site.
9. Upon completion of their deliberations, members of the Hearings Committee may
make a motion regarding the application or may resolve to defer any decision on
the application.
10. A motion will be carried which will culminate in the decision.
11. The Hearings Committee will move out of camera.
12. The Chair will advise the owner/applicant of the Hearings Committee decision,
through Conservation Authority staff if the applicant/agent has left the Hearing
location or in person if a decision is rendered with the Applicant/agent still on
hand at the UTRCA office.
13. If decision is made to "to refuse", the Chair or Acting Chair shall notify the
owner/applicant of his right to appeal the decision to the Minister of Natural
Resources and Forestry within 30 days of receipt of the reasons for the decision.
14. Motion to move out of the Hearing.

To: Chair and Members of the UTRCA Hearing Committee
From: Jessica Schnaithmann, Land Use Regulations Officer
Date: August 27, 2024
File Number: HC-08-24-06
Agenda Number: 5
Subject: Section 28 Permit Application #114-24 for Proposed Development within Riverine Flood Hazard Land Regulated by the Upper Thames River Conservation Authority at 75 Blackfriars Street, City of London, Ontario

Recommendation

THAT Application #114-24 for the proposed development within riverine flood hazard land associated with the North Thames River, referred to as the West London Potential Special Policy Area (SPA), regulated by the Upper Thames River Conservation Authority (UTRCA) at 75 Blackfriars Street, City of London, Ontario be refused by the UTRCA Hearing Committee as it is contrary to UTRCA West London Potential Special Policy Area (SPA) policies.

Application

A Section 28 permit application (#114-24) has been submitted for the proposed development, specifically, the proposed construction of an approximately 220m² two (2) storey addition to an existing commercial office building. The proposed development is located on lands entirely regulated by the UTRCA due to the presence of riverine flood hazard land associated with the North Thames River, referred to as the West London Potential Special Policy Area (SPA), at 75 Blackfriars Street in the City of London, Ontario.

Site Information

The subject lands known municipally as 75 Blackfriars Street in London, Ontario are entirely regulated by the Upper Thames River Conservation Authority (in accordance with Section 28 of the *Conservation Authorities Act* and Ontario Regulation 41/24), due to the presence of a riverine flood hazard land associated with the North Thames River, referred to as the West London Potential Special Policy Area (SPA). The subject lands are approximately 0.6 ha (1.5 ac) in size and are located in north London. The lands, which currently contain a commercial office building and associated surface parking, are located within a *Neighbourhoods Place* Type and are zoned *Office OF2(4)*.

Attachment #1 is a location map of the property at 75 Blackfriars Street, London, Ontario showing the UTRCA Regulated Areas.

Attachment #2 is a location map of the property at 75 Blackfriars Street, London, Ontario at a closer scale without the UTRCA Regulated Areas.

Background

The subject lands are situated within an area impacted by the floodplain of the North Thames River. This area is referred to as the West London Potential Special Policy Area (SPA). This area is referred to as a *potential* SPA since it has not been approved by the Province.

The following sections of the *UTRCA Environmental Planning Policy Manual (2006, Revised 2017)* speak to Special Policy Areas:

1. **Section 2.2.7.1.2.3. Special Policy Areas** are specifically identified areas that are not protected to the minimum provincial standard. The area must be a viable community that feasibly cannot be protected from the risk of flooding. Through the implementation of a Special Policy Area, the Provincial government may permit certain activities that do not meet the minimum Provincial standards. Special Policy Areas must be supported by the Municipality and the Conservation Authority and must be approved by the Ministers of Natural Resources and Municipal Affairs and Housing.

Specific policies and considerations that may be established for a Special Policy Area include:

- no basements, floodproofing to the maximum
 - no new severances - no new lots
 - no intensification of use
 - preference for residential conversion to commercial type uses
 - no day cares, hospitals, nursing homes etc
2. **Section 2.2.7.1.3.3. Special Policy Areas** – In those limited cases where a Special Policy Area is applicable, the limits of the Special Policy Area and policies must be supported by the UTRCA and must be approved by the Municipality, the Ministry of Natural Resources and the Ministry of Municipal Affairs and Housing. In cooperation with the municipality, the UTRCA may identify potential Special Policy Areas and implement interim policy requirements for these areas while the formal Special Policy Area review and approval process is underway.

Through pre-consultation with the UTRCA, the applicants were advised that any development plans for these lands would be subject to UTRCA policy requirements for the West London Potential SPA. The existing commercial office building has a basement that is below ground level for only part of its depth which raises the first floor significantly higher than grade level. It was advised that as part of the Section 28 permit process, the proposed addition would be required to be floodproofed to the height of the main floor (first floor) of the building located at 71 Blackfriars Street, which is the higher of adjacent structures, rather than the main floor (first floor) of the existing commercial office building. It was also communicated that the principle of development must first be established through zoning, and any additional planning review will need to be taken into consideration prior to applying for a Section 28 permit.

The UTRCA has previously provided comments regarding development requirements on the subject lands through Site Plan Consultation (SPC22-152). Additionally, the UTRCA reviewed and provided comments on a Minor Variance application (A.007/23) to permit the office use within the proposed building addition. This application was granted in March 2023. Most recently the UTRCA was circulated the formal Site Plan Application (SPC23-088) and reiterated the comments provided during the Site Plan Consultation (SPC22-152). The comments were as follows:

- UTRCA policies for the West London Potential Special Policy Area (SPA) require that floodproofing measures to the Regulatory Flood Elevation will be required if feasible or at minimum to the height of the main floor (first floor) of the existing structure or the main floor (first floor) of the higher of adjacent structures. Based on previous correspondence between the applicant and UTRCA staff on May 31st, 2022, the finished floor elevation for the proposed addition will need to meet or exceed the height of the main floor (first floor) of 71 Blackfriars Street. Please clearly identify the proposed finished floor elevation on the drawings.
- Detailed floodproofing measures must be submitted on drawings prepared by a qualified professional (P.Eng.), with confirmation provided on the foundation plan that the design has accounted for lateral hydrostatic pressures during a flood event and that all utilities are floodproofed.
- Basements are not permitted with the SPA. Please update plans to remove any proposed basements.

Proposal

On May 13, 2024, UTRCA (J. Schnaithmann) received an application from Zelinka Priamo Limited c/o Dave Hannam on behalf of Southside Construction Management Limited c/o Vito Frijia for proposed development. This proposal was for the purpose of constructing a 2-storey, 220m² (2,368ft²) addition at the front of the existing office building. The 2-storey addition will allow for the facilitation of an expanded office space consisting of a new reception area, lobby, staff offices and boardroom. The addition will also allow for barrier-free access to be provided throughout the entire building.

Discussion/Analysis

Copies of the UTRCA Permit Application Form, Drawing Package and Additional Supporting Material from Zelinka Priamo Limited (**Attachments #3, 4 & 5**), – as well as applicable UTRCA Natural Hazard policies are included with this report. The application has been evaluated for conformity with our general flood hazard policies contained within Section 4 of the *UTRCA Environmental Planning Policy Manual (2006, Revised 2017)*.

Applicable Policy

Please Note: the following policies referenced are taken from the *UTRCA Environmental Planning Policy Manual*, approved by the Board of Directors, June 28, 2006 (Revised 2017). While the following policies have been included within this report to assist with review, we note that policies in the manual are intricately interwoven and should always be read in their entirety. The *UTRCA Environmental Planning Policy Manual (2006, Revised 2017)* is available on our website at:

<https://thamesriver.on.ca/wp-content/uploads/EnvPlanningPolicyManual-update2017.pdf>

A hard-copy can be made available upon request. It is advised that all of the policies contained within the manual as well as other policies, not listed below, may also be applicable and should be referred to.

A) Regulation of Development

The proposed addition would be considered development (by definition).

Definitions

Development:

- (a) the construction, reconstruction, erection or placing of a building or structure of any kind,
- (b) any change to a building or structure that would have the effect of altering the use or potential use of the building or structure, increasing the size of the building or structure or increasing the number of dwelling units in the building or structure,
- (c) site grading, or
- (d) the temporary or permanent placing, dumping or removal of any material, originating on the site or elsewhere.

(Conservation Authorities Act, R.S.O. 1990 c. C.27)

Through Section 28 of the *Conservation Authorities Act* and Ontario Regulation 41/24, Conservation Authorities have a legislated responsibility to regulate development and activities in or adjacent to river or stream valleys, Great Lakes and inland lakes shorelines, watercourses, hazardous lands, and wetlands. Development taking place on these lands within the watershed requires permission from the Conservation Authority.

Subsection 28 (1) of the *Conservation Authorities Act* states that “no person shall carry on, or permit another person to carry on” “Development activities in areas that are within the authority’s area of jurisdiction and are” “river or stream valleys”.

Subject to subsection 28.1 (1):

28.1 (1) *An authority may issue a permit to a person to engage in an activity specified in the permit that would otherwise be prohibited by section 28, if, in the opinion of the authority,*

- (a) the activity is not likely to affect the control of flooding, erosion, dynamic beaches or unstable soil or bedrock;*
- (b) the activity is not likely to create conditions or circumstances that, in the event of a natural hazard, might jeopardize the health or safety of persons or result in the damage or destruction of property.*

B) UTRCA Policies - General Flood Hazard Policies

Section 4 – Section 28 Review & Approval Process of the UTRCA Planning and Policy Manual, contains the following policies for Special Policy Areas:

1.2.2 Riverine Flooding Hazard Policies

- 3. Special Policy Areas – Development within approved Special Policy Areas shall be consistent with the approved policies. For potential Special Policy Areas such as West London and Ada Street in the City of London, the following interim policies apply:
 - a) Intensification of use, either through the creation of lots or through zoning is not permitted. Conversion of residential uses to commercial uses is encouraged.
 - b) New basements are not permitted
 - c) Permitted activities will include additions less than 100 per cent increase in size, accessory buildings to existing uses and other minor works

- d) Floodproofing measures to the Regulatory Flood Elevation will be required if feasible or at a minimum to the height of the main floor (first floor) of the higher of adjacent structures
- e) For new structures, detailed floodproofing measures must be submitted on drawings prepared by a qualified professional, with sufficient surveys and inspections to allow for provision of as-built drawings upon completion of the project

The proposed development at 75 Blackfriars Street as currently proposed:

- Meets current policies a) and c), however, does not currently meet policies b), d) and e) noted above.

Therefore, the proposed development does not meet all of the standard review criteria for staff to issue the necessary Section 28 approvals.

Should this application be approved by the Hearing Committee, the requirement for final reports and drawings prepared through the municipal site plan process and to the satisfaction of the UTRCA, would be an appropriate condition of the approval, and would include:

- Detailed floodproofing measures must be submitted on drawings prepared by a qualified professional (P.Eng.), with confirmation provided on the foundation plan that the design has accounted for lateral hydrostatic pressures during a flood event and that all utilities are floodproofed.

Conclusion

The Authority's approval is required for the issuance of permits under Section 28 of the Conservation Authorities Act. Applications which conform to Subsection 28.1 (1) of the Act and board-approved policy found within the UTRCA *Environmental Planning Policy Manual (2006, Revised 2017)* may be recommended for approval by Authority staff who have been granted responsibility to process such applications. When applications for development are submitted that do not conform to board approved policy, authority staff cannot refuse the application without the benefit of a hearing. Approval of a non-conforming application is then subject to the review and consent of the UTRCA Hearing Committee. Only the UTRCA Hearing Committee can refuse the application.

This report is provided to the UTRCA Hearing Committee to advise that the application meets most riverine flood hazard policies (found within Section 4 of the *UTRCA Environmental Planning Policy Manual (2006, Revised 2017)*). The proposal is non-conforming because it does not meet all UTRCA interim policy requirements for the West London Potential Special Policy Area (SPA) and general staff review criteria for similar projects. The proposal is contrary to policy and therefore staff must recommend refusal of Application #114-24.

The applicant has advised they wish to proceed with a hearing before the UTRCA Hearing Committee to obtain consent for the proposed development within the riverine flood hazard land associated with North Thames River, referred to as the West London Potential Special Policy Area (SPA).

Recommended by:

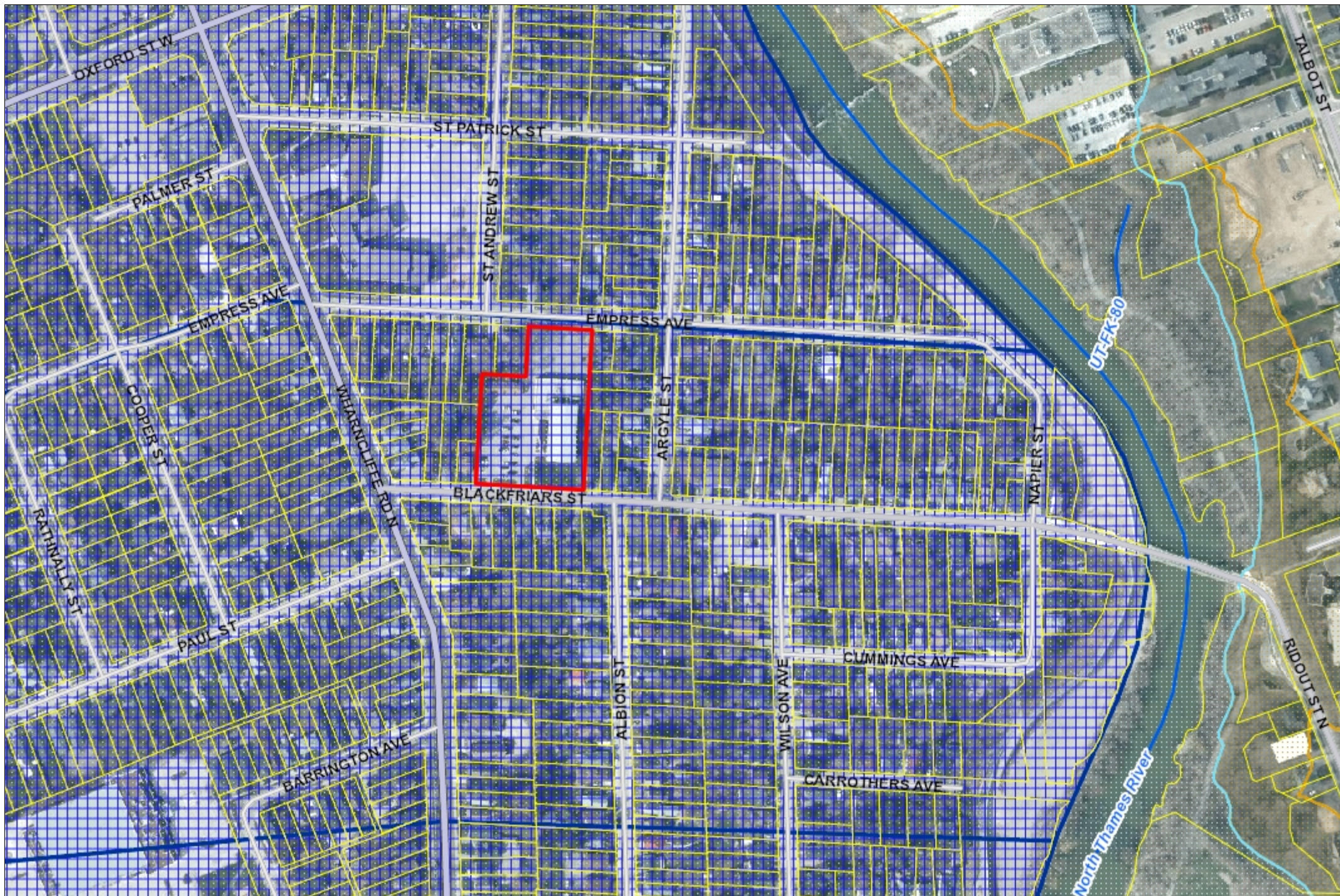
Jenna Allain, Manager, Environmental Planning and Regulations

Prepared by:
Jessica Schnaithmann, Land Use Regulations Officer

c.c. Members of the UTRCA Hearing Committee
Tracy Annett, UTRCA
Grant Inglis, UTRCA Solicitor

Attachments:

1. 75 Blackfriars Street, London - Location Map (UTRCA Regulated Areas 2024)
2. 75 Blackfriars Street, London - Location Map
3. 75 Blackfriars Street, London - Section 28 Permit Application
4. 75 Blackfriars Street, London - Drawings and Supporting Information
5. 75 Blackfriars Street, London - Supporting Information



Regulated Areas

Regulation under s.28 of the *Conservation Authorities Act*
 Prohibited Activities, Exemptions and Permits.
 O. Reg. 41/24.

Legend

- UTRCA Watershed (2017 LiDAR)
- Assessment Parcel (MPAC)
- Watercourse (UTRCA, 2020)
 - Open
 - Closed Design/Tiled
- Special Policy Area
- Regulated Wetland
- Flooding Hazard Limit
- Erosion Hazard Limit

Attachment #1

The mapping is for information screening purposes only, and shows the approximate regulation limits. The text of Ontario Regulation 41/24 supersedes the mapping as represented by this data layer. This mapping is subject to change. A site specific determination may be made by the UTRCA.

This layer is the approximate limit for areas regulated under Ontario Regulation 41/24: Prohibited Activities, Exemptions and Permits, which came into effect April 1, 2024.

The UTRCA disclaims explicitly any warranty, representation or guarantee as to the content, sequence, accuracy, timeliness, fitness for a particular purpose, merchantability or completeness of any of the data depicted and provided herein.

The UTRCA assumes no liability for any errors, omissions or inaccuracies in the information provided herein and further assumes no liability for any decisions made or actions taken or not taken by any person in reliance upon the information and data furnished hereunder.

This map is not a substitute for professional advice. Please contact UTRCA staff for any changes, updates and amendments to the information provided.

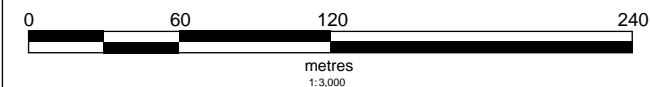
This document is not a Plan of Survey.

Sources: Base data, Aerial Photography used under licence with the Ontario Ministry of Northern Development, Mines, Natural Resources and Forestry Copyright © King's Printer for Ontario; City of London.

Notes:
 75 Blackfriars Street, London (2024)

Created By: JS August 19, 2024

* Please note: Any reference to scale on this map is only appropriate when it is printed landscape on legal-sized (8.5" x 14") paper.





Regulated Areas

Regulation under s.28 of the Conservation Authorities Act
Prohibited Activities, Exemptions and Permits.
O. Reg. 41/24.

Legend

- UTRCA Watershed (2017 LiDAR)
- Assessment Parcel (MPAC)
- Watercourse (UTRCA, 2020)
 - Open
 - Closed Design/Tiled

Attachment #2

The mapping is for information screening purposes only, and shows the approximate regulation limits. The text of Ontario Regulation 41/24 supersedes the mapping as represented by this data layer. This mapping is subject to change. A site specific determination may be made by the UTRCA.

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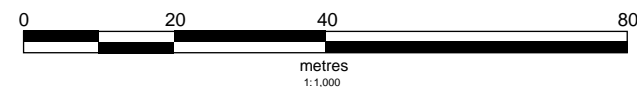
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Notes:
75 Blackfriars Street, London (2024)

Created By: JS August 19, 2024

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UPPER THAMES RIVER
CONSERVATION AUTHORITY
Copyright ©2024 UTRCA.

Attachment #3

Application for Development, Interference with Wetlands and Watercourses Permit under Section 28 of the Conservation Authorities Act

UPPER THAMES RIVER
CONSERVATION AUTHORITY

Upper Thames River Conservation Authority
1424 Clarke Road London, Ontario N5V 5B9
Phone 519-451-2800 Fax 519-451-1188
E-mail: regulationsinquiry@thamesriver.on.ca

Application #

Name of Landowner: Southside Construction Management Limited

E-mail: vito@southsidegroup.ca Phone Home: _____ Phone Bus.: 519-433-0634

Address: 75 Blackfriars Street, London Postal Code: N6H 1K8

Project Location: 75 Blackfriars Street, London

Street and Number, or Lot(s) and Concession Number/ 911 Address Municipality City of London

DESCRIPTION OF PROJECT

General description of project: Construct a 2-storey, 207m² (2,229ft²) addition at the front of the existing office building.

All applications must be accompanied by a detailed site plan, providing information on the following:

- 1) general location of property in relation to roads,
- 2) location and dimensions of all existing structures on the property,
- 3) location of any watercourse, wetland, or steep slope on or near the subject property,
- 4) intended location of all proposed work, including construction, filling/grading/excavation, wetland interference, or watercourse alteration,
- 5) location of septic system, if applicable, and other property utilities, wells, etc., and
- 6) cross-section of proposed work, showing existing and final grades and structure openings.

Works including floodproofing of structures must be accompanied by detailed drawings, prepared by qualified professional engineers, with proper dates and stamps appearing on all plans. If filling is proposed, details on the type, area, and volume of fill must be provided to the UTRCA, with existing and proposed grades clearly presented on plans.

Unless otherwise requested, the UTRCA only requires one copy of all project drawings. Multi-paged engineering drawings must be folded or reproduced on 11 x 17" sheets.

Dates of Commencement and Completion of Project: August 2024 to February 2025

If other approvals required for this project please indicate: Minor Variance (approved) + SPA (approved) +

<input type="checkbox"/> Federal - Fisheries Act	<input type="checkbox"/> Other <u>Heritage Alteration Permit (approved)</u>
<input type="checkbox"/> Province - MNR Work Permit	<input type="checkbox"/> Permit to Take Water
<input checked="" type="checkbox"/> Municipal - Building Permit	<input type="checkbox"/> Zoning <input type="checkbox"/> Severance <input type="checkbox"/> OPA <input type="checkbox"/>

Name of Applicant if different than Landowner: Zelinka Priamo Limited c/o - Dave Hannam

Mailing Address if different than above: 318 Wellington Road, London

Postal Code: N6C 4P4 Phone: 519-474-7137 E-mail: dave.h@zpplan.com

Applicant's Signature: _____

Application Date - Month: May Day: 13 Year: 2024

Agent for Applicant (if different from above): same as applicant

Mailing Address: _____

Postal Code: _____ Phone: _____ E-mail: _____

For UTRCA Completion Only

Application fee: _____ Date received: _____ Received by: _____

Regulatory floodline elevation: _____ Typical ground elevation: _____

Other pertinent comments _____

Project-specific requirements (refer to page 2 for general conditions) _____

Approved by: _____ Date approved: _____

Site inspection: Date: _____ By: _____

TERMS AND CONDITIONS

The Owner and Applicant, by acceptance of and in consideration of the issuance of this permit, agree to the following terms and conditions:

1. Permission granted by the Upper Thames River Conservation Authority cannot be transferred without prior written approval from the Upper Thames River Conservation Authority.
2. Approvals may be required from other agencies prior to undertaking the work proposed. The Upper Thames River Conservation Authority does not exempt the Applicant from complying with any or all other approvals, laws, statutes, or regulations.
3. The Upper Thames River Conservation Authority may at any time withdraw any permission given if, in the opinion of the Conservation Authority, the representations contained in the application for permission are not carried out or the conditions/requirements of the permit are not complied with.
4. Authorized representatives of the Upper Thames River Conservation Authority may at any time enter onto the lands that are described herein, in order to make any surveys, examinations, investigations or inspections that are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. The Owner and Applicant agree:
 - To indemnify and save harmless the Upper Thames River Conservation Authority and its officers, employees, or agents from and against all damage, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the Owner and/or Applicant or any of his agents, employees or contractors relating to any of the particulars, terms or conditions of this permit;
 - That this permit shall not release the Applicant from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law;
 - That all complaints arising from the execution of the works authorized under this permit shall be reported immediately by the Applicant to the Upper Thames River Conservation Authority. The Applicant shall indicate any action that has been taken, or is planned to be taken, with regard to each complaint.
6. The project shall be carried out in full accordance with the plans submitted in support of the application.
7. The Applicant agrees to install and maintain all sedimentation controls until all disturbed areas have been stabilized.
8. All disturbed areas shall be seeded, sodded, or stabilized in some other manner acceptable to the Conservation Authority as soon as possible, and prior to the expiry of this permit.
9. The Applicant agrees to maintain all existing drainage patterns, and not to obstruct external drainage from other adjacent private lands.

NOTE: The information on this form is being collected for the purpose of administering a regulation made pursuant to Section 28, Conservation Authorities Act, R.S.O. 1990, Chapter 27. This application and supporting documents and any other documentation received relating to this application, may be released, in whole or in part, to other persons in accordance with the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990c. M.56, as amended.



Zelinka Priamo Ltd.

LAND USE PLANNERS

May 13, 2024

Upper Thames River Conservation Authority
1424 Clarke Road
London, ON
N5V 5B9

Dear Sir/Madam,

Re: **Application for Development Permit under Section 28 of the
Conservation Authorities Act
Southside Construction Management Ltd
75 Blackfriars Street
London, ON**

Our File: **SSD/LON/22-01**

On behalf of Southside Construction Management Ltd. ("Southside"), Zelinka Priamo Ltd. is pleased to submit an Application for Development Permit under Section 28 of the Conservation Authorities Act for the lands at 75 Blackfriars Street (the 'subject lands'). The proposed development comprises the construction a 2-storey, 207m² (2,229ft²) addition at the front of the existing office building. There is no basement proposed for the addition. Below is a copy of a rendering of the office addition.



In March 2023, a Minor Variance Application was approved by the City of London to allow the permitted office use within the proposed addition, whereas the permitted uses were confined to the existing building (File: A.007/23). On April 10, 2024, a Heritage Alteration Permit was approved for the proposed office addition (File: HAP24-014-D). In May 2024, a Site Plan Approval application for the proposed office addition was approved (File: SPA23-088).

Southside is requesting permission from UTRCA for the front office addition to be constructed at the same elevation as the existing front entry (which has an elevation situated between the existing lower-level offices and gymnasium and the main level offices). The addition at this level will enable barrier-free entry and, through the construction of a new elevator, will enable access to the upper level which currently can be reached only by stairs.

We understand that the UTRCA standard policy approach is to require such building addition to have a finished floor elevation equal to, or higher than, the highest of the main floor elevations on adjacent properties. To assist in your review, Southside has had its own survey crew shoot the first-floor elevations of buildings on surrounding properties. These are all residential buildings.

Using the existing Southside building entry level finished floor elevation (FFE) as the 0.000m control elevation, the FFEs of other buildings were recorded relative to this benchmark.

We have attached a map showing the survey results. This data shows that the proposed FFE of the Southside building addition is substantially higher than that of most buildings on abutting properties on either side of Blackfriars Street. The one notable exception is the front of 71 Blackfriars Street which is 0.330m higher than the proposed Southside addition. However, that building is an anomaly among abutting properties, especially given its elevated main floor; and it is important to note that the FFE of the main floor of the rear part of that building is significantly lower (-0.927m) than the Southside proposal, such that the average of the front and rear main floors is more than one-half metre (-0.597m) below the Southside FFE. The building (#69) to the east of 71 Blackfriars Street is also lower (-0.686m) (see the below google streetview image).



Buildings opposite the Southside building on Blackfriars Street have substantially lower FFEs, as do the abutting properties on Argyle Street (#12 and 14).

Requiring the Southside building addition to have a FFE equal to that of the front of 71 Blackfriars would defeat the purpose for which the extension is intended, that is to create a barrier-free access to serve all floors of the existing Southside building.

We ask for your consideration of this information about the physical context of the Southside proposal in determining that the proposal is consistent with the intent of the UTRCA policies, and should be eligible for a permit.

Further, co-elevate has been retained by Southside to provide structural engineering consulting services for the design and construction oversight of the proposed addition. They have confirmed in the enclosed letter that they will design the structural elements of the proposed addition to resist the imposed loads from the hydrostatic pressure as indicated in the Ontario Building Code. Such mitigative measures include, but are not limited to; providing additional reinforcement in the walls of the foundation, expanding the footings, increasing slab depth, tying the slab to foundation walls with reinforcing bars, utilizing alternative footings (piles, caissons, trench footings, etc.).

SUBMISSION PACKAGE

This submission provides the following materials:

- Completed Application Form, including authorizations;
- Architectural drawing package (11 x 17" copies);
- Engineering drawing package (11 x 17" copies) + Servicing/SWM Memo;
- Finished Floor Elevation Survey (11 x 17" copy);
- Floodproofing Measures and Strategies Letter from Co-elevate; and
- The required application fee cheque of \$1,160:00, made payable to UTRCA.

We trust that the enclosed information is satisfactory and we look forward to a timely approvals process. If you have any questions, or require further information, please do not hesitate to call.

Sincerely,

ZELINKA PRIAMO LTD.



Dave Hannam, BRP, MCIP, RPP
Partner

cc. The client (Via Email)

September 7, 2023

Project: DEL13-100

City of London, Development Services (6th Floor)
300 Dufferin Avenue
P.O. Box 5035
London, Ontario
N6A 4L9

Attn: Mr. Mike Pease – Manager, Development Planning

Re: Servicing & SWM Memo – 75 Blackfriars Street Building Addition

Mr. Pease,

Development Engineering (London) Limited (DevEng) has been retained by Southside Group to provide detailed site grading and servicing design for the proposed approximately 220 m² building addition to be constructed on their current office building located at 75 Blackfriars Street in London, Ontario. The 0.59 ha site is located north of Blackfriars Street, south of Empress Avenue and east of Wharncliffe Road. This brief has been prepared to summarize the site-level servicing design for the addition in support of Site Plan Approval.

STORM SERVICING

The proposed addition is intended to utilize the existing 200mm diameter storm rooftop Private Drain Connection (PDC) connected to the existing 450mm diameter Municipal storm sewer on Blackfriars Street. In addition to redirection of the roof leaders from the existing building, the proposed addition rooftop will be equipped with two (2) Watts Accutrol Flow Control Roof Drains (FCRD's) with ¼ exposed weirs to throttle flows and induce temporary rooftop storage. As a result of the FCRD's, it is anticipated that runoff from the proposed building addition footprint in the proposed condition (~1.9 L/s under 0.15m depth) will be approximately equivalent to existing conditions. A new swale has also been proposed to contain drainage from the eastern side (grassed pervious area) of the site towards a new catchbasin (CB1), connected to the same PDC.

A desktop excel calculation was prepared to demonstrate suitability of the existing 200mm diameter storm PDC to convey proposed minor (5 year) peak controlled flows from the site including the proposed building addition. With the previously identified FCRD's at full 150mm depth flow, the total controlled minor storm runoff to the PDC is calculated as **33.9 L/s**, which is less than the PDC's estimated capacity of **46.4 L/s** (Mannings). The excel calculations have been attached to this brief.

As the runoff from the proposed building addition is generally considered "clean" for the purposes of quality control and the remainder of the site is intended to remain unchanged, no on-site quality control measures have been proposed.



SANITARY SERVICING

The proposed addition is intended to utilize the existing 100mm diameter sanitary PDC connected to the existing 250mm diameter Municipal sanitary sewer on Blackfriars Street. It is our understanding based on discussion with the owner that the addition is not anticipated to result in significant additional sanitary flows and that the existing sanitary PDC can be maintained.

WATER SERVICING

The proposed addition is intended to utilize the existing domestic water service connected to the existing 200mm diameter Municipal watermain on Blackfriars Street. It is our understanding based on discussion with the owner that the addition is not anticipated to result in significant additional domestic water demands and that the existing water service can be maintained.

We trust this letter adequately outlines the proposed design strategy in support of the Site Plan Application for the proposed office building addition. If you have any questions or concerns, please do not hesitate to contact the undersigned.

DEVELOPMENT ENGINEERING (LONDON) LIMITED



Derek J. Hoevenaars, P.Eng.
Senior Project Engineer

DEL13-100: Blackfriars Development - Total Runoff vs. Pipe Capacity Comparison

By: D.Hoevenaars, P.Eng.
Date: September 07, 2023

Manning's Formula (Uniform Flow Capacity of Circular Pipes)

Pipe Size (mm)	Roughness (n)	Pipe Slope (%)	Velocity (m/s)	Flow Cap. (l/s)
200*	0.013	2.00*	1.476	46.4

* Assumed

Peak Flow 1: Existing Uncontrolled Sloped Roof

Ave. Runoff 'C'	Tc (Calculated)	*Intensity (mm/hr)	Area (sq.m)	Area (hectares)	Peak Flow (l/s)
0.9	10.4	104.7	660	0.07	17.3

*Tc interpolated from City of London DSRM Figure 5.3

**Intensity calculated using City of London 5 year IDF curve

Peak Flow 2: Existing Uncontrolled Flat Roof

Ave. Runoff 'C'	Tc (Calculated)	*Intensity (mm/hr)	Area (sq.m)	Area (hectares)	Peak Flow (l/s)
0.9	10.4	104.7	520	0.05	13.6

*Tc interpolated from City of London DSRM Figure 5.3

**Intensity calculated using City of London 5 year IDF curve

Peak Flow 3: Proposed Flow Controlled Flat Roof

ROOFTOP FLOW CONTROL DESIGN					
Effective Building Area	220	m ² (Assumes no mezzanine, interior access, etc.)			
No. of Drains:	2	(±110 sq.m of actual drainage roof area per drain)			
Weir Exposure	1/4				
Attenuation and Flow Parameters for Model (per Drain)					
Depth		Area	Vol	Flow	
(m)	(in)	(m ²)	(m ³)	(L/s)	(GPM)
0.15	6	n/a	n/a	1.90	n/a

Peak Flow 4: Grassed Area

Ave. Runoff 'C'	*Tc (Calculated)	**Intensity (mm/hr)	Area (sq.m)	Area (hectares)	Peak Flow (l/s)
0.2	39.9	46.1	405	0.04	1.0

*Tc interpolated from City of London DSRM Figure 5.3

**Intensity calculated using City of London 5 year IDF curve

Summary

Total Flow =	33.9	L/s
Pipe Capacity =	46.4	L/s
Percent Full =	73.0	%

April 22, 2024

Re: 75 Blackfriars Street, London, Ontario Addition – Floodproofing Measures & Strategies

Please accept this letter as part of the development applications to Upper Thames River Conservation Authority (UTRCA) and the City of London on behalf of Southside Group.

co-elevate has been retained to provide Structural Engineering consulting services for the design and construction oversight of the planned addition. As per comments made by the UTRCA during the site plan approval process, it is our understanding that there are further details required. The addition is planned to be a two-storey structure framed with conventional steel on concrete spread footings. A basement is not part of the plans for this addition.

We understand the addition is planned at 75 Blackfriars Street within a regulated area under the Conservation Authorities Act. We are anticipating hydrostatic pressures, as dictated by the UTRCA, on the floor and walls of the building. Should the hydrostatic pressure require mitigative measures, we will design the structural elements to resist the imposed loads from the hydrostatic pressure as indicated in the Ontario Building Code. Such mitigative measures include, but are not limited to; providing additional reinforcement in the walls of the foundation, expanding the footings, increasing slab depth, tying the slab to foundation walls with reinforcing bars, utilizing alternative footings (piles, caissons, trench footings, etc.).

We will certify that the above noted items and notes, accompanied by our engineered drawings, will satisfy the intent of the Conservation Authorities Act.

We are available for any questions or comments that you may have.

If there is anything we can assist you with, please do not hesitate to contact our office.

co-elevate,



Travis Parker, P. Eng.
Principal



Find address or place



site data

1. GROSS SITE AREA	2,920.0 sq m	
2. BUILDING AREA	EXISTING OFFICE 1,085.3 sq m	ADDITION 220.0 sq m
	ACCESSORY 168.6 sq m	
	TOTAL BUILDING AREA 1,305.3 sq m	+ 168.6 sq m ACCESSORY = 1,473.9 sq m TOTAL
3. ASPHALT AREA	5,138 sq m	

ITEM	A	Z-1 REQUIREMENTS	PROPOSED
4. ZONES	DF2(A)		DF3(A)
5. LOT AREA (M ²)	800 sq m		3,954.6 sq m
6. LOT FRONTAGE (M)	20.0 m		87.55 m
7. LOT DEPTH (M)	N/A		N/A
8. FRONT YARD SETBACK (M)	7.0 m		7.5 m
9. REAR YARD SETBACK (M)	7.0 m		N/A
10. INTERIOR SIDEYARD SETBACK (M)	4.8 m (EXISTING)		5.8 m (ADDITION)
11. REAR YARD SETBACK (M)	4.8 m		31.9 m (EXISTING)
12. LANDSCAPED OPEN SPACE (% MIN)	20% MIN		22 %
13. LOT COVERAGE MAX (ON GROSS SITE)	40% MAX		25%
14. HEIGHT (MAX)	15.0 m		13.5 m (MAX)
15. PARKING REQ	1.8m ² 100s MIN @ 1,309.3 sq m = 14 SPACES 6/7 @ 4% OF 55 SPACES = 3 SPACES BICYCLE SPACES @ 3 - 0.3 PER 100sq m = 7 SPACES		48 SURFACE PARKING SPACES 6 GARAGE PARKING SPACES INCLUDING 2 TYPE A B/F SPACES 1 TYPE B B/F SPACES 18 BICYCLE SPACES
16. GROSS FLOOR AREA (MAX)	2,555 sq m, MIN FOR OFFICE AND DYNAMIC USES		EXIST BLDG OFFICE & DYN AREA = 2,049.89 sq m NEW BLDG OFFICE AREA = 405.58 sq m TOTAL OFFICE & DYN AREA = 2,455.47 sq m (REFER TO ADD2)

OBC DESIGNATION

BUILDING AREA 1,305.3 sq m
OCCUPANCY GROUP D, UP TO 3 STORIES
PART 3 BUILDING 3.2.2.3

COMBUSTIBLE / NON-COMBUSTIBLE CONSTRUCTION
FLOOR ASSEMBLIES TO BE FIRE SEPARATIONS WITH A MIN 45 MIN FIRE RATING
MEZZANINES SHALL HAVE, IF OF COMBUSTIBLE CONSTRUCTION, A FRR OF AT LEAST 45 MIN
ROOF ASSEMBLIES SHALL HAVE, IF OF COMBUSTIBLE CONSTRUCTION, A FRR OF AT LEAST 45 MIN
LOADING DOOR WALLS/SUPPORTING STRUCTURE TO HAVE A FRR EQUAL TO THE SUPPORTED ASSEMBLY OR BE OF NON-COMBUSTIBLE CONSTRUCTION

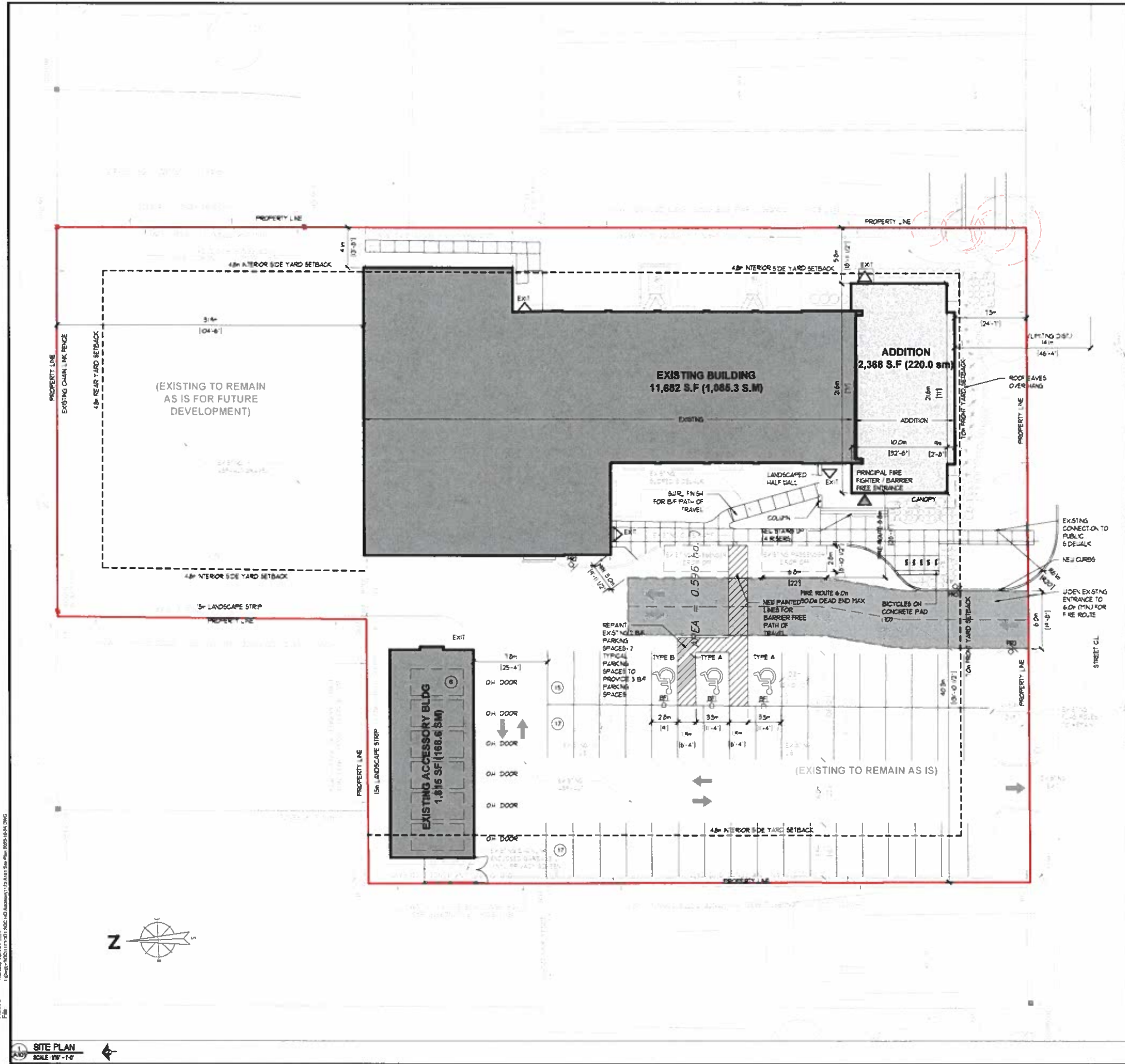
BUILDING NOT REQUIRED TO BE SPRINKLERED

3.4.2.5(1) MAX. TRAVEL DISTANCE FROM ANY POINT ON A FLOOR AREA TO AN EXIT 35m (98'-0") (UNSPRINKLERED)
MAX FLAME SPREAD RATING OF 150 FOR ALL INTERIOR WALL & CEILING SURFACES
FIRESTOP PENETRATIONS IN RATE ASSEMBLIES TO ASTM E 814 AND CAN 1515M, PROVIDE LIST OF MATERIALS USED AND THEIR LOCATIONS TO ARCHITECT & OFFICIALS
CONCEALED CEILING SPACES USED AS RETURN AIR INTAKES TO HAVE MAX FLAME SPREAD RATING OF 25 AND A MAX SMOKE DEVELOPMENT CLASSIFICATION OF 50
FIRE ALARM SYSTEM, FIRE DEPARTMENT CONNECTION AND STANDPIPE SYSTEMS ARE NOT REQUIRED FOR BUILDING SIZE AND OCCUPANCY

- LEGEND**
- FIRE ACCESS ROUTE
 - BICYCLE MARK
 - ASPHALT PAVING
 - CONC. SIDEWALK
 - PROPOSED BUILDING
 - FIRE FIGHTER / BARRIER FREE ENTRY
 - PRINCIPAL / FIRE FIGHTER / BARRIER FREE ENTRY
 - HYDRO POLE
 - CATCH BASIN
 - MAN-HOLE
 - POLE LIGHT FIXTURE
 - WALL MOUNTED LIGHT FIXTURE
 - SOFT MOUNTED LIGHT FIXTURE
 - FIRE ROUTE SIGN
 - SOUND ATTENUATION BARRIER/PRIVACY FENCE
 - CHAIN LINK FENCE
- LEGAL DESCRIPTION**
- LOTS 15, 16, 17, 28 & 27 AND PART OF LOTS 18, 24 & 25 REGISTERED PLAN 581R IN THE CITY OF LONDON COUNTY OF MIDDLESEX



AERIAL



SITE PLAN
SCALE 1/8" = 1'-0"

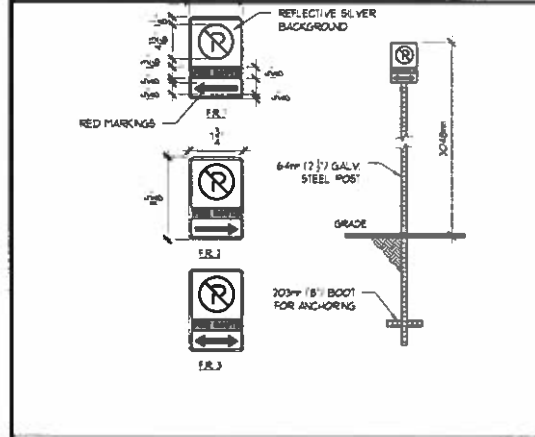
AA AGAR ARCHITECT
philip agar architect inc.
513 QUEEN ST. W. TORONTO, ON M5H 1Y6
TEL: 416-593-7288 info@agararchitect.com

SOUTHSIDE GROUP

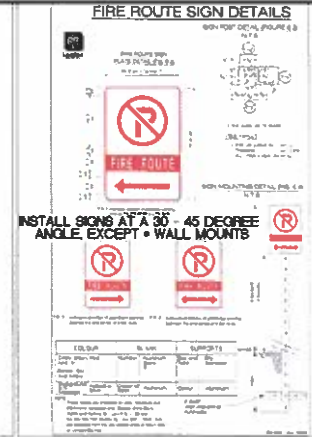
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Scale: AS NOTED
Date: JULY 13, 2023

A101

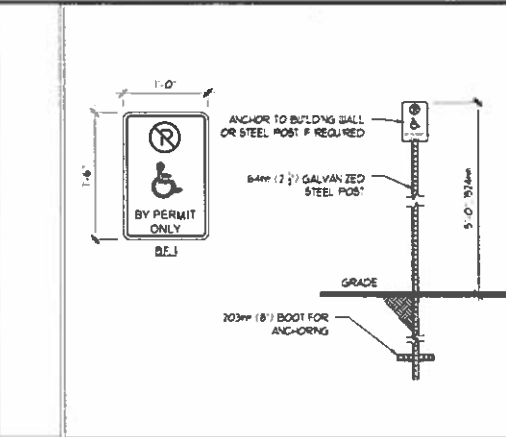
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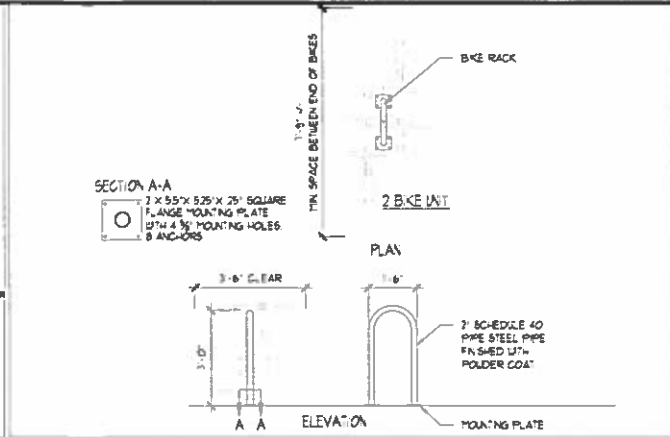
1 FIRE ACCESS ROUTE SIGNS
T-1-0



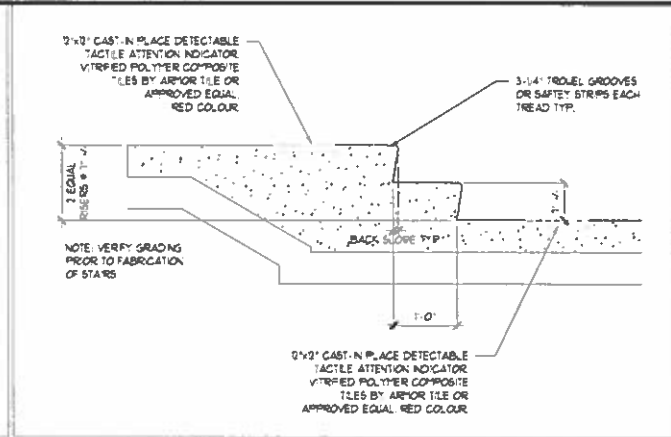
2 FIRE ROUTE SIGN DETAIL
NTS



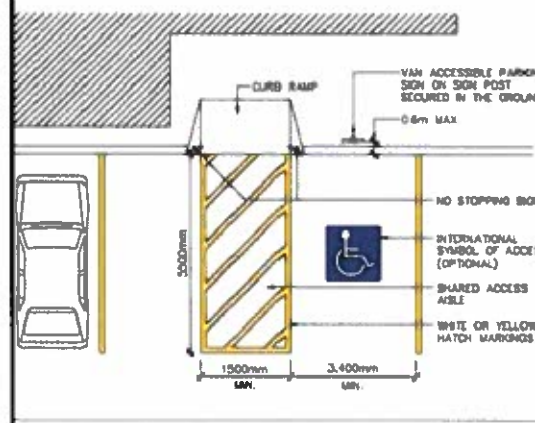
3 BARRIER FREE PARKING SIGN
T-1-0



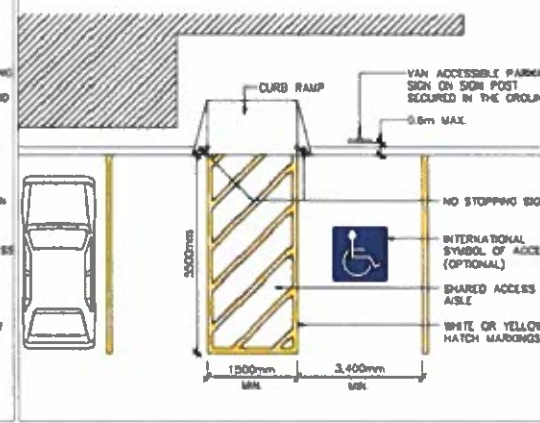
4 BIKE RACK DETAILS
3/4"-1-0"



5 EXTERIOR STAIR SECTION
3/4"-1-0"



6 TYPE 'A' BARRIER FREE PARKING DETAIL
W-1-0



7 TYPE 'B' BARRIER FREE PARKING DETAIL
W-1-0



8 ACCESSIBLE PARKING SIGN
NTS

1	JAN 18, 21	ISSUED FOR CLIENT REVIEW
2	DEC 4, 22	ISSUED FOR SPA
3	MAY 15, 23	ISSUED FOR SPA
4	NOV 5, 23	REVISED FOR SPA

ASSOCIATION OF ARCHITECTS

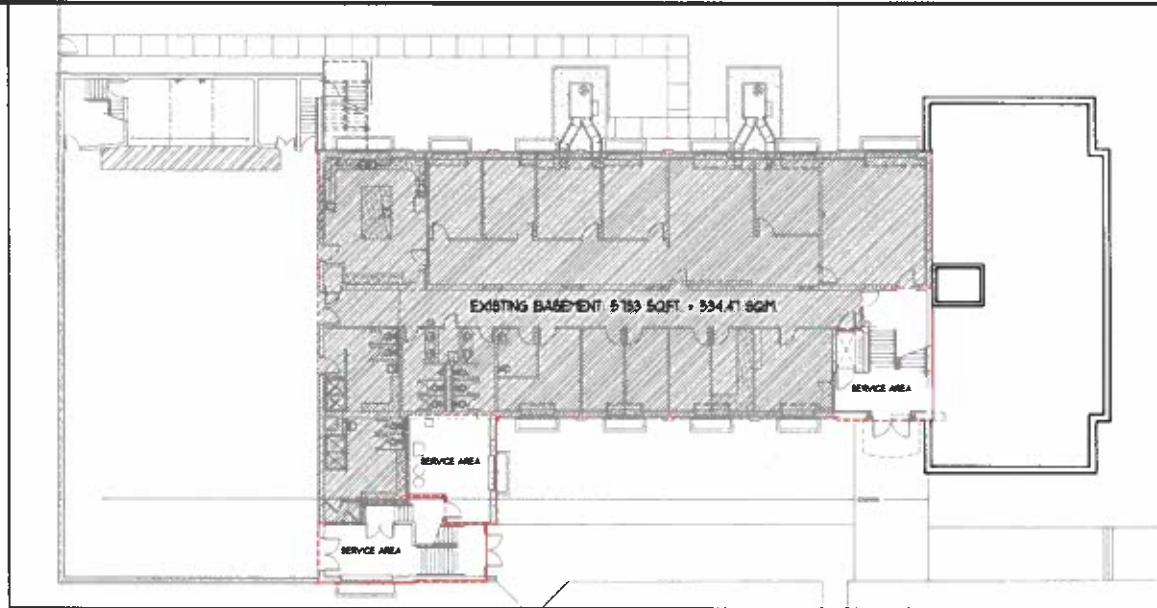
AA AGAN ARCHITECT
philip agan architect inc.
510 EGLINTON AVE. WEST, SUITE 1100
TORONTO, ONTARIO M5P 1L7
TEL: 416-462-7868 info@aganarchitect.com

SITE PLAN DETAILS
OFFICE ADDITION
75 BLACKFRAS STREET,
LONDON, ONTARIO

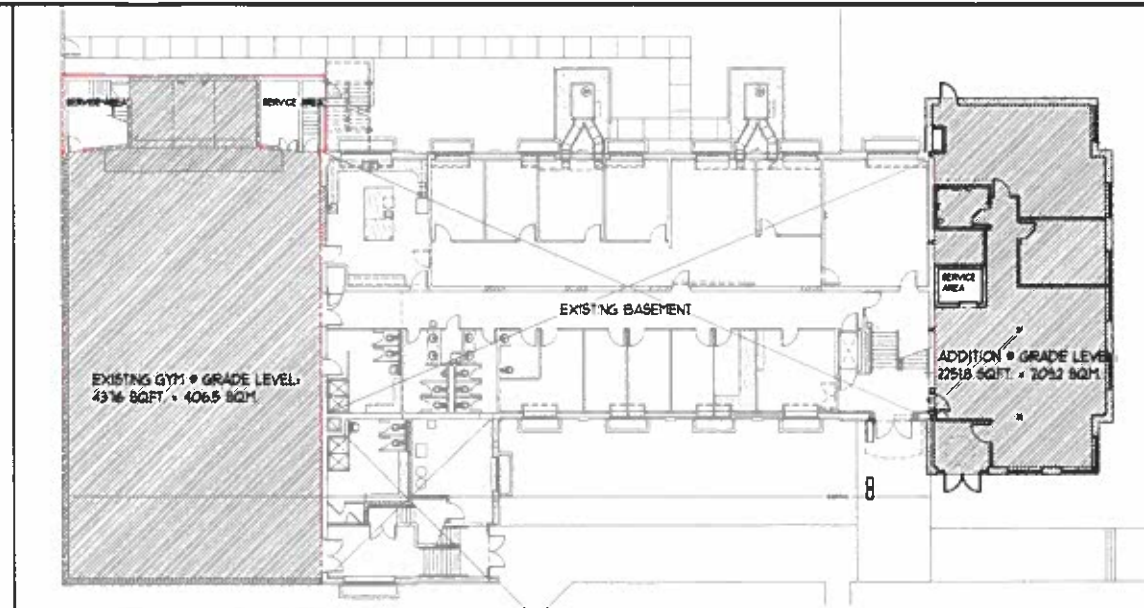
SOUTHBIDE GROUP

Project No: 1173
Scale: AS NOTED
Dwn/Chkd By: SA/PA
Date: JULY 13, 2023

Dwg No: **A102**



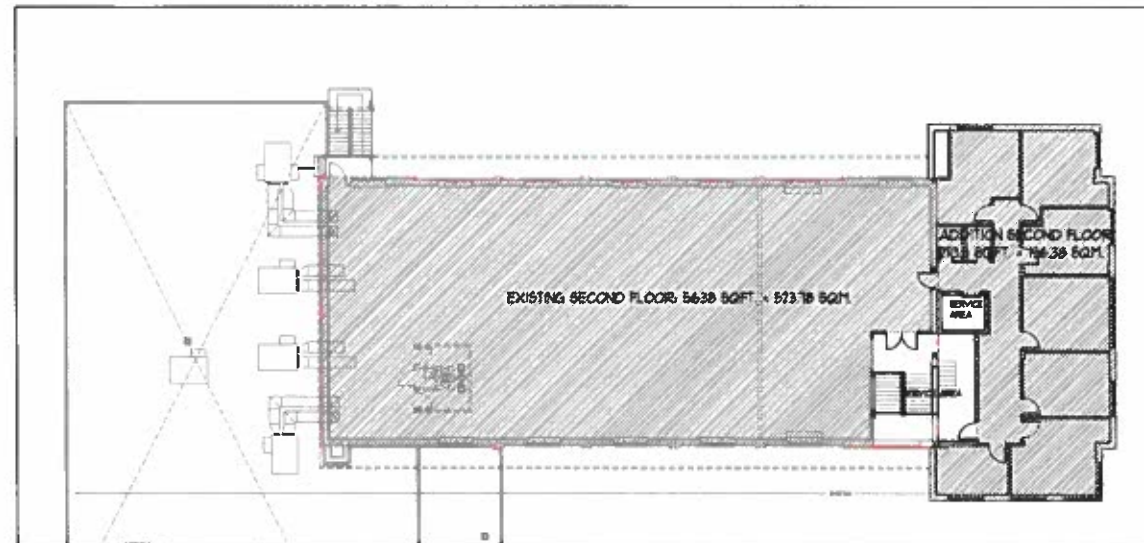
OFFICE AREA - BASEMENT
W-14



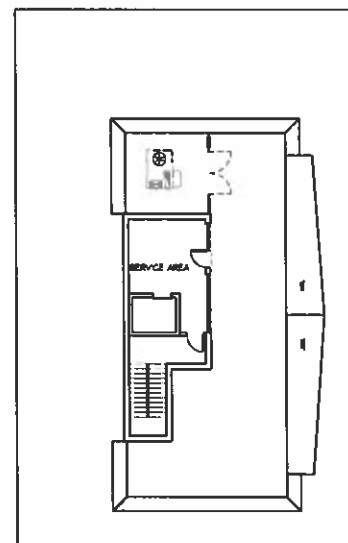
OFFICE + GYM AREA - LEVEL AT GRADE
W-14



OFFICE AREA - FIRST FLOOR EXBT.
W-14



OFFICE AREA - SECOND FLOOR
W-14



ROOF LEVEL - NO OFFICE + GYM AREA
W-14

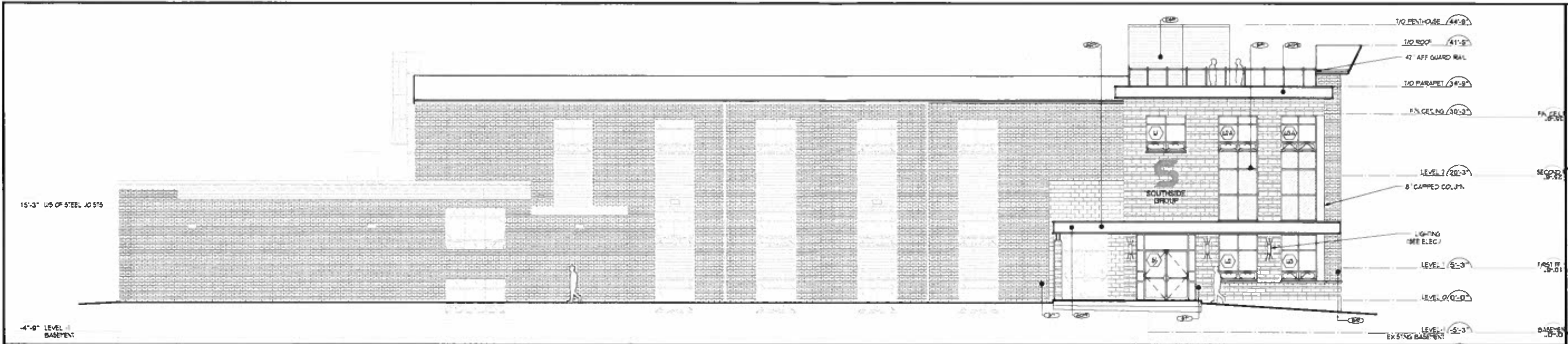
REQUIRED:
2,555 s.m. max. FOR OFFICE AND GYMNASIUM USES

PROVIDED:
EXISTING BLDG. OFFICE & GYM AREA = 2040.69 SQ.M.
NEW BLDG. OFFICE AREA = 405.58 SQ.M.

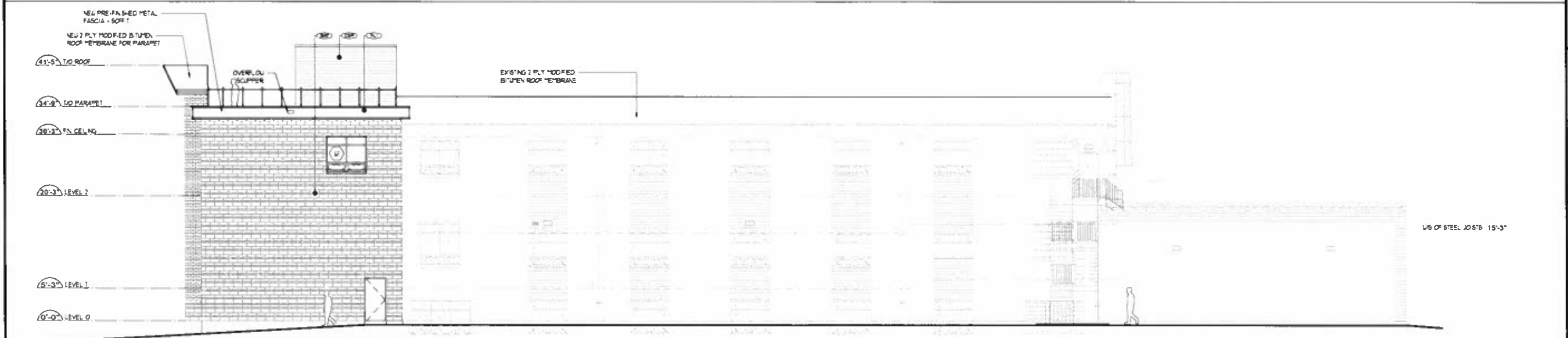
TOTAL OFFICE & GYM AREA = 2446.27 SQ.M

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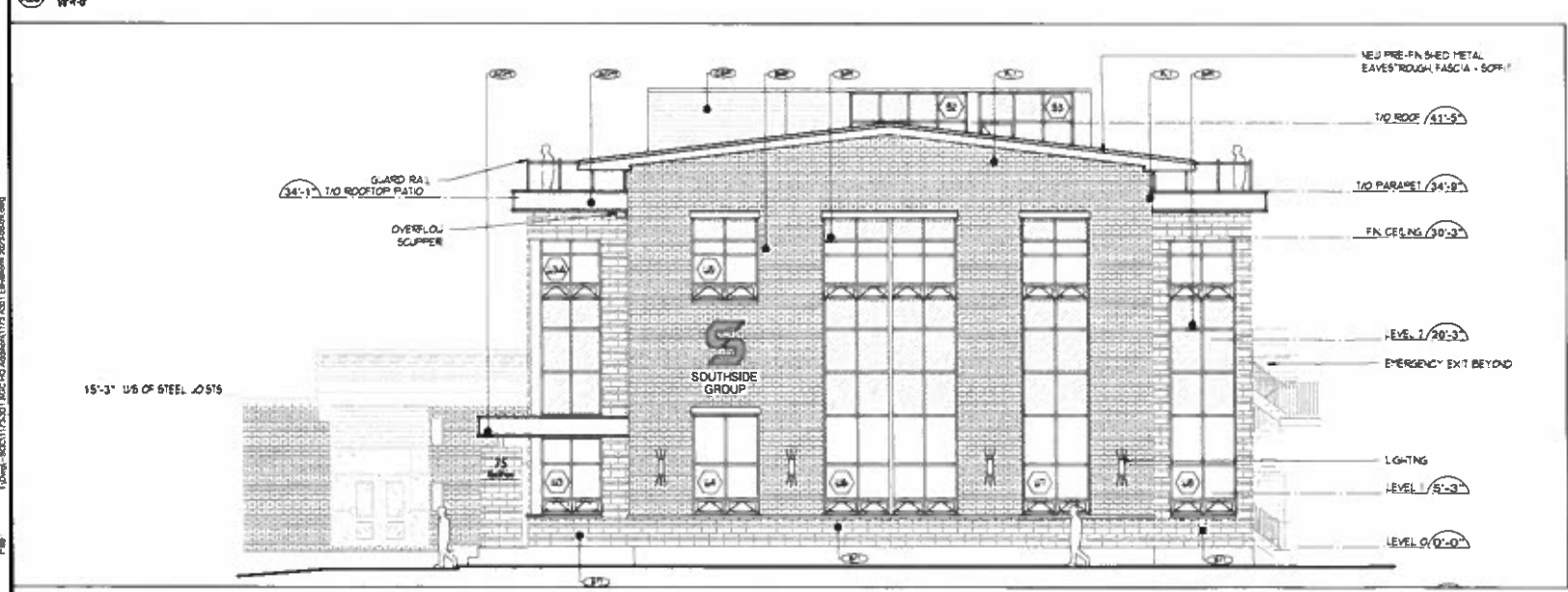
1 AUG 9, 23 ISSUED FOR SPA	
2 NOV 7, 23 REVISED FOR SPA	
<p>1173 AS NOTED LL/AR JULY 13, 2023</p>	
<p>SOUTHSIDE GROUP</p>	
<p>COVER SHEET OFFICE ADDITION 75 BLACKFRARS STREET, LONDON, ONTARIO</p>	
<p>AA AGAN ARCHITECT philip agan architect inc. 513 claremont avenue, london, on n6b 1y4 tel: 518 432-7388 info@aganarchitect.com</p>	
<p>A002</p>	



WEST ELEVATION
W-10



EAST ELEVATION
W-10



SOUTH ELEVATION
W-10

- MATERIALS LEGEND**
- (FL) PRE-FIN METAL CAP FLASHING
COLOUR BLACK
 - (ST) STONE - SIZE & TYPE TO BE DETERMINED
TO MATCH EXISTING MASONRY
 - (PCI) 3'2" x 5'8" PRECAST CONCRETE SILL
SHOULD CE 414 TAPESTRY
COLOUR TBD
 - (BR) BRICK - SIZE & TYPE TO BE DETERMINED
TO MATCH EXISTING BRICK
 - (SP) SPANDREL
COLOUR BLACK
 - (CAP) 1" CORRUGATED PRE-FIN
STEEL SONG
- MATERIALS ARE SUBJECT TO CHANGE

DATE NOT REVISION FOR PERMIT / TENDER
 2 AUGUST 2023 ISSUED FOR SPA
 9 NOV 2023 REVISED FOR SPA

1173
 AS NOTED
 HR/SA
 JULY 13, 2023

1173
 AS NOTED
 HR/SA
 JULY 13, 2023

A301

AAA AGAR ARCHITECTED
 philip agar architect inc.
 510 GERRARD AVENUE, TORONTO, ON M5B 1Y9
 TEL: 416-467-7266 info@agar-arch.com

SOUTHSIDE GROUP

ELEVATIONS
 OFFICE ADDITION
 75 BLACKFRAS STREET,
 LONDON, ONTARIO

Lest Seward
 Thursday, September 21, 2023
 Friday, November 10, 2023
 15 Drive, 36001172301 BGC-CO address 1172 3601 Edmonson 20230606.dwg

THIS SITE PREPARATION PLAN HAS BEEN PREPARED TO IDENTIFY REMOVALS, EROSION & SEDIMENT CONTROL MEASURES & TEMPORARY CONSTRUCTION WORKS FOR THE BENEFIT OF THE OWNER'S CONTRACTOR IN ADVANCE OF SERVING WORKS. IT IS NOT INTENDED TO IDENTIFY PERMANENT GRADING PATTERNS.

CONTOURS DEPICT ORIGINAL GRADES AND ARE NOT NECESSARILY REPRESENTATIVE OF THE SITE CONDITION FOLLOWING THE EARLY WORKS CONTRACT. THE OWNER'S CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE CURRENT STATE OF THE SITE.

SEDIMENT AND EROSION CONTROL MEASURES MAY ONLY BE REMOVED UPON STABILIZATION OF CONTRIBUTING CATCHMENT AREA AND SUBJECT TO APPROVAL OF ENGINEER/CITY OF LONDON.

SURFACE RUNOFF SHALL BE DIVERTED AWAY FROM FOUNDATION EXCAVATIONS.

OWNER'S CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO AVOID MIXING TOPSOIL WITH SUBSOIL WHERE REQUIRED FOR REUSE ON SITE.

OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR REGULAR MONITORING AND CLEANUP OF TRACKED MUD/DEBRIS ON ADJACENT LANDS AND PUBLIC ROADS TO THE SATISFACTION OF THE ENGINEER AND MUNICIPALITY.

BOULEVARD AREAS SHALL BE RESTORED WITH 150mm TOPSOIL AND SOO.

REF. GEOTECHNICAL REPORT REF. ***** BY LDS, DATED *** ** ****

TOPOGRAPHICAL INFORMATION AND SITE BENCHMARK AS PROVIDED BY DEVELOPMENT ENGINEERING (LONDON) LIMITED, DATED JUNE 16, 2023.

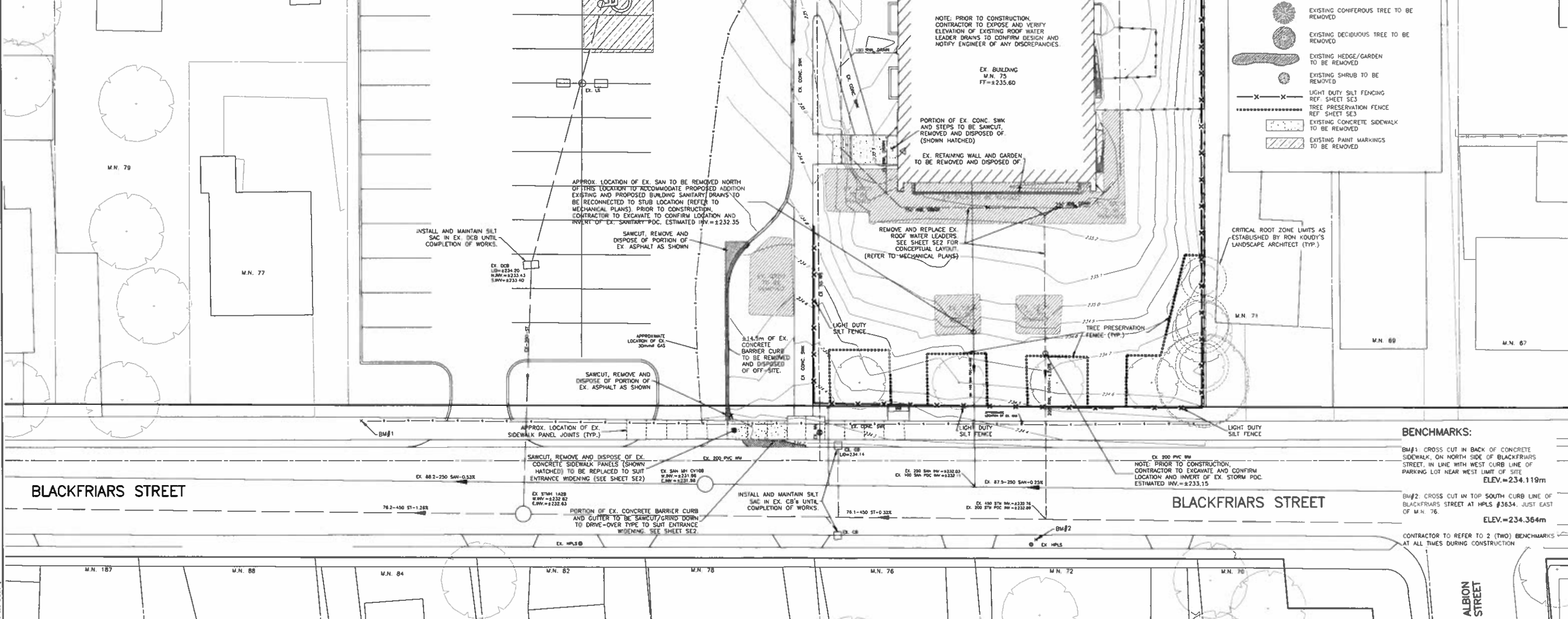
PRIOR TO CONSTRUCTION THE OWNER'S CONTRACTOR SHALL OBTAIN LOCATES FOR, EXPOSE AND CONFIRM LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMIT OF CONSTRUCTION. OWNER'S CONTRACTOR SHALL SUPPORT EXISTING UNDERGROUND UTILITIES AS REQUIRED.

ALL NATIVE FILL PLACED SHALL MEET THE REQUIREMENTS FOR ENGINEERED FILL, COMPACTED TO 100% SP100 AS OUTLINED IN THE GEOTECHNICAL REPORT.

EXISTING SITE UTILITIES SHALL NOT BE DISRUPTED UNLESS APPROVED BY THE OWNER, CONTRACT ADMINISTRATOR OR ENGINEER.

WHEN WORKING WITHIN THE VICINITY (20m) OF GAS MAIN, UNION GAS SHALL BE PROPERLY NOTIFIED IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.

LOCATION ON SHOWN UTILITIES ARE APPROXIMATE AND OWNER'S CONTRACTOR TO CONFIRM EXACT LOCATIONS PRIOR TO CONSTRUCTION. NOTE, NOT ALL UTILITIES SHOWN IN R.O.W FOR CLARITY.



LEGEND

- Ex. Storm
- Ex. Sanitary
- Ex. DCB
- Ex. CB
- Ex. 500-800 SAN-1.0X
- Ex. 500-800 ST-0.5X
- Ex. 150mm W.M.
- Ex. Gas
- Ex. Gas Meter
- Ex. Gas Valve
- Ex. Gas Main
- Ex. HP/LS
- Ex. HP
- Existing Coniferous Tree
- Existing Deciduous Tree
- Existing Hedge/Garden
- Existing Shrub
- Existing Tree Stump
- Existing Coniferous Tree to be Removed
- Existing Deciduous Tree to be Removed
- Existing Hedge/Garden to be Removed
- Existing Shrub to be Removed
- Light Duty Silt Fencing Ref. Sheet S23
- Tree Preservation Fence Ref. Sheet S23
- Existing Concrete Sidewalk to be Removed
- Existing Paint Markings to be Removed

BENCHMARKS:

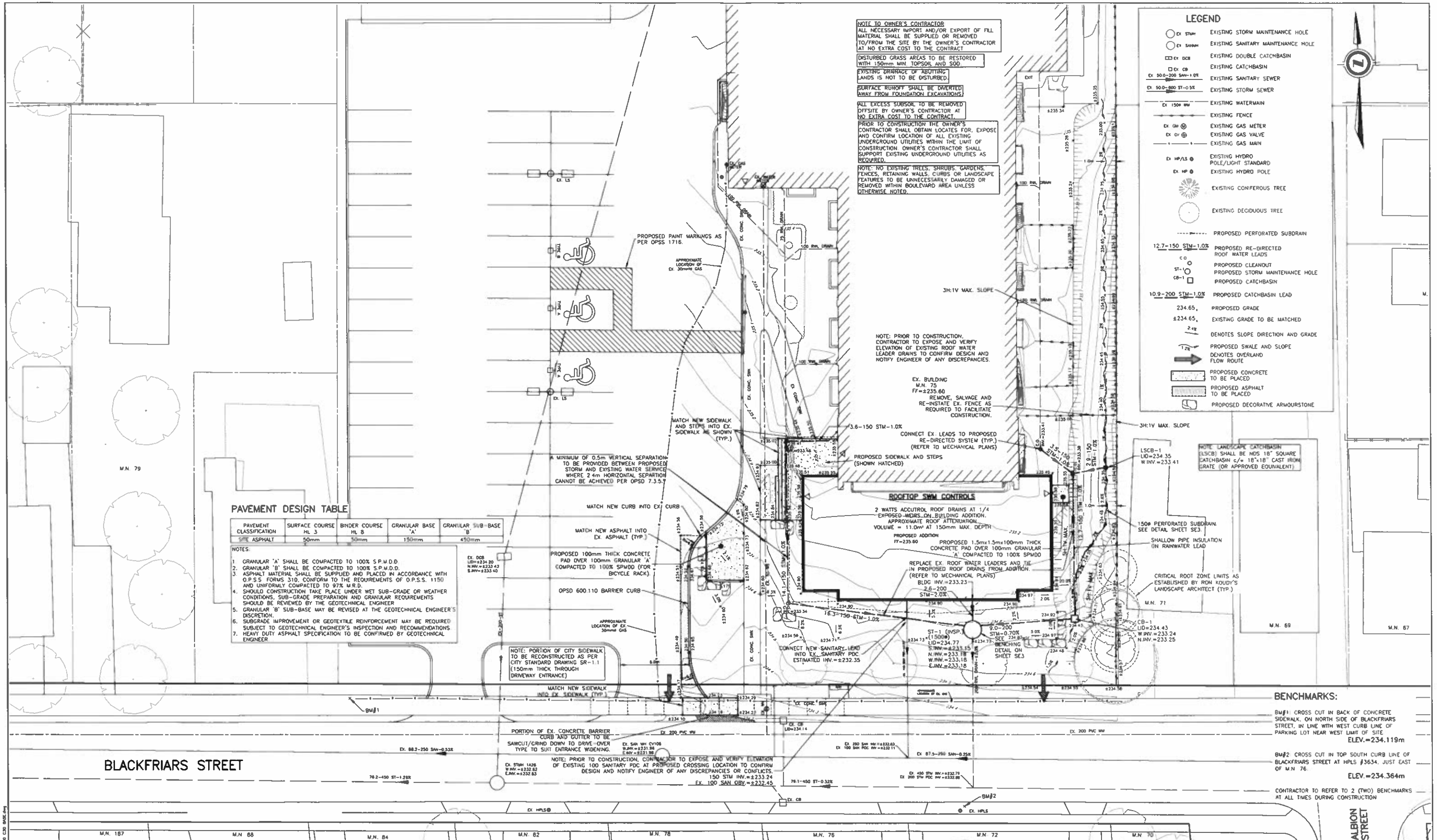
BM#1 CROSS CUT IN BACK OF CONCRETE SIDEWALK, ON NORTH SIDE OF BLACKFRIARS STREET, IN LINE WITH WEST CURB LINE OF PARKING LOT NEAR WEST LIMIT OF SITE. ELEV.=234.119m

BM#2 CROSS CUT IN TOP SOUTH CURB LINE OF BLACKFRIARS STREET AT HPLS #3634, JUST EAST OF M.N. 76. ELEV.=234.364m

CONTRACTOR TO REFER TO 2 (TWO) BENCHMARKS AT ALL TIMES DURING CONSTRUCTION

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT	CONSULTANT OR DIVISION	ENGINEER'S STAMP	SCALE	PROJECT NO.	SHEET NO.	PLAN FILE NO.
STORM, SANITARY, WATERMAIN	26525, CITY AS-BUILT	APRIL 2015			DESIGN BY RAB	1	ISSUED FOR SPA1	AUG. 2/23	DEVENO	London Office 41 Adelaide St. N. Unit 71 (518) 672-8310		SCALE - 1:150	75 BLACKFRIARS STREET LONDON, ONTARIO SOUTHSIDE GROUP	DEL13-100	SE1
				DRAWN BY RAB	2	RE-ISSUED FOR SPA1	SEP. 7/23	DEVENO							
				CHECKED BY #	3	ISSUED FOR SPA2	OCT 27/23	DEVENO							
				F.BK. P30	4	ISSUED FOR SPA3	JAN. 31/24	DEVENO							
<p>Paris Office 31 Mechanic St. Unit 301 (518) 442-1441</p> <p>development engineering CONSULTING CIVIL ENGINEERS</p>															

DEL13-100 C30 BASE.dwg
 2024.01.31 10:57 AM
 100%



NOTE TO OWNER'S CONTRACTOR
 ALL NECESSARY IMPORT AND/OR EXPORT OF FILL MATERIAL SHALL BE SUPPLIED OR REMOVED TO/FROM THE SITE BY THE OWNER'S CONTRACTOR AT NO EXTRA COST TO THE CONTRACT.
 DISTURBED GRASS AREAS TO BE RESTORED WITH 150mm MIN. TOPSOIL AND 500 EXISTING DIMENSION OF ABUTTING LANDS IS NOT TO BE DISTURBED.
 SURFACE RUNOFF SHALL BE DIVERTED AWAY FROM FOUNDATION EXCAVATIONS.
 ALL EXCESS SUBSOIL TO BE REMOVED OFFSITE BY OWNER'S CONTRACTOR AT NO EXTRA COST TO THE CONTRACT.
 PRIOR TO CONSTRUCTION THE OWNER'S CONTRACTOR SHALL OBTAIN LOCATES FOR EXPOSE AND CONFIRM LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMIT OF CONSTRUCTION. OWNER'S CONTRACTOR SHALL SUPPORT EXISTING UNDERGROUND UTILITIES AS REQUIRED.
 NOTE: NO EXISTING TREES, SHRUBS, GARDENS, FENCES, RETAINING WALLS, CURBS OR LANDSCAPE FEATURES TO BE UNNECESSARILY DAMAGED OR REMOVED WITHIN BOULEVARD AREA UNLESS OTHERWISE NOTED.

LEGEND

- EX STM# EXISTING STORM MAINTENANCE HOLE
- EX SAN# EXISTING SANITARY MAINTENANCE HOLE
- EX DCB EXISTING DOUBLE CATCHBASIN
- EX CB EXISTING CATCHBASIN
- EX 50.0-200 SAN-1.0% EXISTING SANITARY SEWER
- EX 50.0-600 ST-0.5% EXISTING STORM SEWER
- EX 150# WM EXISTING WATERMAIN
- EX FENCE EXISTING FENCE
- EX GM EXISTING GAS METER
- EX GV EXISTING GAS VALVE
- EX GM EXISTING GAS MAIN
- EX HP/LS EXISTING HYDRO POLE/LIGHT STANDARD
- EX HP EXISTING HYDRO POLE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- PROPOSED PERFORATED SUBDRAIN
- 12.7-150 STM-1.0% PROPOSED RE-DIRECTED ROOF WATER LEADS
- PROPOSED CLEANOUT
- PROPOSED STORM MAINTENANCE HOLE
- PROPOSED CATCHBASIN
- 10.9-200 STM-1.0% PROPOSED CATCHBASIN LEAD
- 234.65, EXISTING GRADE TO BE MATCHED
- ±234.65, EXISTING GRADE TO BE MATCHED
- 2.4% DENOTES SLOPE DIRECTION AND GRADE
- 1.2% PROPOSED SWALE AND SLOPE
- DENOTES OVERLAND FLOW ROUTE
- PROPOSED CONCRETE TO BE PLACED
- PROPOSED ASPHALT TO BE PLACED
- PROPOSED DECORATIVE ARMOURSTONE

PAVEMENT DESIGN TABLE

PAVEMENT CLASSIFICATION	SURFACE COURSE	BINDER COURSE	GRANULAR BASE	GRANULAR SUB-BASE
TYPE ASPHALT	50mm	50mm	150mm	450mm

- NOTES:**
- GRANULAR 'A' SHALL BE COMPACTED TO 100% S.P.M.D.D.
 - GRANULAR 'B' SHALL BE COMPACTED TO 100% S.P.M.D.D.
 - ASPHALT MATERIAL SHALL BE SUPPLIED AND PLACED IN ACCORDANCE WITH O.P.S.S. FORMS 31D, CONFORM TO THE REQUIREMENTS OF O.P.S.S. 1150 AND UNIFORMLY COMPACTED TO 97% M.B.D.
 - SHOULD CONSTRUCTION TAKE PLACE UNDER WET SUB-GRADE OR WEATHER CONDITIONS, SUB-GRADE PREPARATION AND GRANULAR REQUIREMENTS SHOULD BE REVIEWED BY THE GEOTECHNICAL ENGINEER.
 - GRANULAR 'B' SUB-BASE MAY BE REVISED AT THE GEOTECHNICAL ENGINEER'S DISCRETION.
 - SUBGRADE IMPROVEMENT OR GEOTEXTILE REINFORCEMENT MAY BE REQUIRED SUBJECT TO GEOTECHNICAL ENGINEER'S INSPECTION AND RECOMMENDATIONS.
 - HEAVY DUTY ASPHALT SPECIFICATION TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.

NOTES:

- GRANULAR 'A' SHALL BE COMPACTED TO 100% S.P.M.D.D.
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- HEAVY DUTY ASPHALT SPECIFICATION TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.

BENCHMARKS:

- BM#1: CROSS CUT IN BACK OF CONCRETE SIDEWALK, ON NORTH SIDE OF BLACKFRIARS STREET, IN LINE WITH WEST CURB LINE OF PARKING LOT NEAR WEST LIMIT OF SITE. ELEV.=234.119m
 - BM#2: CROSS CUT IN TOP SOUTH CURB LINE OF BLACKFRIARS STREET AT HPLS #3634, JUST EAST OF M.N. 76. ELEV.=234.364m
- CONTRACTOR TO REFER TO 2 (TWO) BENCHMARKS AT ALL TIMES DURING CONSTRUCTION

BLACKFRIARS STREET

ALBION STREET

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	NO.	REVISIONS	DATE	CONSULTANT
					DESIGN BY RAB	1	ISSUED FOR SPA1	AUG. 2/23	DEVING
					CHECKED BY JF	2	RE-ISSUED FOR SPA1	SEP. 7/23	DEVING
					BY BK. P30	3	ISSUED FOR SPA2	OCT. 27/23	DEVING
						4	ISSUED FOR SPA3	JAN. 31/24	DEVING

London Office
41 Adelaide St. N., Unit 71
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Paris Office
31 Mechanic St., Unit 301
(518) 442-1441

development engineering
CONSULTING CIVIL ENGINEERS

ENGINEER'S STAMP
O. J. McNEIL
00049390
JAN 31 2024
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS COMPATIBLE WITH APPLICABLE CITY BYLAWS AND THE EXISTING DRAINAGE PATTERNS ON AND ACROSS THESE LANDS

SCALE: 1:150

75 BLACKFRIARS STREET
LONDON, ONTARIO
SOUTHSIDE GROUP

**PROPOSED ADDITION
GRADING AND SERVICING**

PROJECT NO: DEL13-100
SHEET NO: SE2
PLAN FILE NO:

SITE PREPARATION NOTES

- The Owner's Contractor shall take precautions to avoid damage to existing servicing and surfaces not designated for removal. Any damage shall be repaired and restoration completed at the expense of the Owner's Contractor.
- Topographical information, existing utility and service locations shown on the plan are derived (in part) from the field survey information and record information provided by the Owner, the City of London as constructed drawings. The Owner's Contractor shall field locate all services prior to construction.
- Prior to initiating site works, the Owner's Contractor shall obtain locates for all existing underground utilities within the area of construction. The Owner's Contractor shall be responsible for the cost of repair or replacement of any utilities damaged or disturbed during construction, and shall immediately contact the appropriate utility owner upon such occurrence.
- Where utility crossings are required, the Owner's Contractor shall undertake appropriate measures for the temporary support of such utilities in accordance with the requirements of the utility owner until such time as backfilling and compaction are complete.
- Prior to construction, the Owner's Contractor shall check and verify all site benchmarks, elevations, service inverts, grades, and dimensions and immediately report any discrepancies to the Engineer.
- Prior to construction an approved set of plans and specifications shall be available on the job site and shall remain on-site for the duration of construction. The Owner's Contractor shall verify with the Contract Administrator that the most current drawings are in circulation.
- The Owner's Contractor shall be responsible for protection of all survey markers and monuments during construction. Any legal survey monuments which are disturbed during construction shall be replaced at the expense of the Owner's Contractor.
- All works shall be undertaken in accordance with current Occupational Health and Safety Act requirements.
- Prior to undertaking on-site earth works, the Owner's Contractor shall install all sediment controls relevant to the area of site disturbance.
- The Owner's Contractor shall be responsible for regular monitoring and cleanup of tracked mud/debris on adjacent lands and public roads to the satisfaction of the Engineer and City of London.
- All excavations shall be backfilled to the surrounding subgrade elevation with suitable select mineral soil or compacted granulars, of suitable moisture content, as approved by the Geotechnical Engineer. Such backfill material shall be placed in lifts not exceeding 300mm thickness and compacted to 98% SPMD as engineered fill to the satisfaction of the Geotechnical Engineer.
- Existing surfaces within the Road Allowance that are disturbed during construction shall be restored to a condition at least as good as conditions prior to construction, to the satisfaction of the City of London, at no cost to the Owner.
- The Owner's Contractor shall take all reasonable measures to avoid mixing topsoil with subsoil where required for reuse on-site.
- All substitutions are subject to review by the Engineer.

SEDIMENT AND EROSION CONTROL NOTES

- Protect all exposed surfaces and control all runoff during construction.
- All erosion control measures to be in place before starting construction and remain in place until restoration is complete.
- Maintain erosion control measures during construction.
- All collected sediment to be disposed of at an approved location.
- Minimize area disturbed during construction. All dewatering to be disposed of in an approved sedimentation basin.
- Protect all catchbasins, manholes and pipe ends from sediment intrusion with geotextile (Terrafix 270R or approved equivalent).
- Keep all sumps clean during construction. Sumps and benching are to be cleaned out at completion of construction.
- Prevent wind-blown dust.
- Straw bales to be used in localized areas as shown and as directed by the Engineer during construction.
- Straw bales to be terminated by rounding bales to contain and filter runoff.
- Obtain approval form UTRCA before construction for works which are in, or adjacent to floodlines, fill lines and hazardous slopes.
- All siting and details are at the minimum to be constructed in accordance with the Ministry of Natural Resources Guidelines on Erosion and Sediment Control for Urban Construction Sites.
- All of the above notes and any sediment and erosion control measures are at a minimum to be in accordance the Ministry of Natural Resources Guidelines on Erosion and Sediment Control for Urban Construction Sites.

DEMOLITION AND REMOVAL NOTES

- Demolition and Removal of existing buildings and foundations shall be completed in accordance with the City of London Demolition Control Bylaw. The Owner's Contractor shall be responsible for obtaining a demolition permit from City of London. All materials and debris associated with demolition shall be disposed of offsite at no extra cost to contract.
- Owner's Contractor shall excavate, remove and dispose of existing foundation material offsite. All excavations shall be backfilled to the proposed subgrade elevation with suitable material, as approved by the Geotechnical Engineer. Such backfill material shall be placed in lifts not exceeding 300mm thickness and compacted to 95% SPMD to the satisfaction of the Geotechnical Engineer.
- Topsoil, unsuitable fill and loose or dilutant silty sands shall be stripped within the limit of construction (building, traffic and servicing envelopes) and stockpiled for reuse or exported from the site. Sediment control measures shall be implemented immediately as described in the drawing set.
- All works shall be undertaken in accordance with current Occupational Health and Safety Act requirements.
- Existing surfaces within the Road Allowance that are disturbed during construction shall be restored to a condition at least as good as current conditions, to the satisfaction of the City of London.

SEWER (SERVICE) NOTES

- All sewers and watermain are to be installed in accordance with the minimum requirements of the latest revision of the Ontario Provincial Standard Specifications, the Ontario Building Code and the City of London Engineering Department.
- Unless labelled specifically on the plans, all sewer pipe shall be as follows:
 - All pipe less than 200mm dia. shall be PVC SDR 28 (CSA B182.2)
 - Storm sewers 200mm to 450mm dia. with a depth of cover between 1.2m and 4.5m shall be PVC SDR 35 (CSA B182.2) or PVC ribbed (CSA B182.4).
 - Storm sewers 200mm to 450mm dia. with a depth of cover less than 1.2m or greater than 4.5m shall be PVC SDR 35 (CSA B182.2).
 - Products shall be as per the approved list of manufacturers provided by the City of London.
 - HDPE is not permissible for use unless specified otherwise.
 The Owner's Contractor shall be responsible for protecting the pipe during construction in the event that protective cover depths are not met due to interim conditions.
- Service bedding:** Pipe bedding spec per bedding detail. (City of London SW-1.0). Localized base improvement may be required for services bedded in loose, wet or dilutant silty/sandy subsoils, subject to the recommendations of the Geotechnical Engineer. Such improvement could include overexcavation and recompaction or crushed stone bedding wrapped in a geotextile (Terrafix 270R or approved equivalent) with min. 0.45m overlap) as directed by the Geotechnical Engineer. Any trench water shall be removed when pipe laying is in progress. Minimum 82 bedding is used for concrete pipe bedding, cover and bedding must be wrapped in a geotextile (Terrafix 270R or approved equivalent with min. 0.45m overlap).
- Backfill for service trenches:** Services shall be backfilled with select native material or reclaimed granulars that are, in the opinion of the Geotechnical Engineer, suitable as backfill material and compacted to 95% SPMD. Select native on-site excavated granulars can be used as trench backfill, provided the material is within 3 percent of the optimum moisture content. Otherwise, backfill material shall be imported Granular 'C' compacted to 95% SPMD. Backfill must be clean and compatible and free from organics and other undesirable contaminants. Service trench backfill material shall be placed in uniform layers not exceeding 300 mm in thickness, loose measurement, for the full width of the trench, and each layer shall be compacted according to OPSS 501 before a subsequent layer is placed. Backfill material shall be placed to a minimum depth of 900 mm above the crown of the pipe before power operated tractors or rolling equipment shall be used for compacting.
- Precast concrete structures shall be bedded and backfilled with OPSS granular 'A' material compacted to 98% SPMD, unless geotechnical conditions warrant otherwise.
- All precast storm and sanitary sewer manholes shall be constructed in accordance with the current Ontario Provincial Standards. Catchbasin manholes (CBMH) shall typically be 1200mm inside diameter precast concrete with 600mm square standard catchbasin frames and girders and 600mm sumps below the lowest invert unless otherwise noted on the plans. Catchbasins shall be 600mm square precast concrete with 600mm standard catchbasin frames and girders (OPSD) and 600mm sumps below the lowest invert.
- Where adjacent manholes are located in close proximity to one another, the area between the adjacent manholes shall be backfilled in accordance with the specifications in the following table:

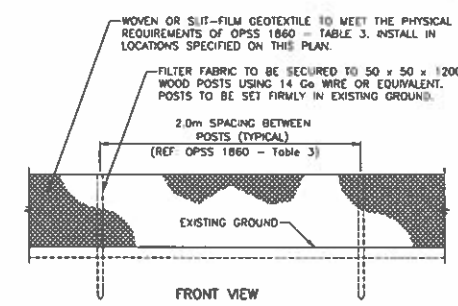
Distance between Adjacent Manholes	Material
0.60m or less	concrete or crushed stone granular material
0.60m to 2.4m	approved native material
more than 2.4m	approved native material
- The above noted backfill shall be compacted to the standard Proctor density specified in the soils report, or as approved by the City Engineer.
- All storm and sanitary sewers and catchbasin connections shall have approved rubber gasket joints. Where catchbasin or PDC leads are connected to mainline sewers, such connections shall be made using gasketed tee fittings approved for use by the Engineer.
- 3.0 metre lengths of 150mm diameter perforated filter wrapped CSP pipe are to be installed as subdrains connected to two sides of each catchbasin and catchbasin manhole in pavement. The subdrains are to be located just below subgrade elevation and placed with perforations down (see detail on sheet**). Perforated HDPE tubing (pressure class 210 kPa) with filter sock may be used for subdrains beneath landscaped areas. All exposed subdrain outlets (ie. not protected by precast structure) shall be protected with rodent grates, appropriately sized and grouted CSP outlet sleeves (OPSD 206.050) and rip rap protection (OPSD 810.010).
- No connection of weeping ties will be allowed to the sanitary sewer system. No gravity connection of weeping ties to the storm sewer will be allowed unless the system has the capacity.
- The Owner's Contractor is responsible for:
 - connecting any existing sewer or drain encountered during construction to a new sewer or into another existing sewer;
 - ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighbouring properties or the safety of the construction site.
- The rate of infiltration into storm and sanitary sewers shall not be greater than 34 litres per millimetre of internal diameter per kilometre of line length per day.
- Per City of London Standard Contract Documents, section 410.07.16.01, All sanitary sewers constructed within new subdivisions are to be subject to an Infiltration Test, an Exfiltration Test or Low Pressure Air Test, in accordance with OPSS 410, as determined by the Contract Administrator and the Contractor based on the situation. Detailed results of the testing are to be provided to the Contract Administrator and to the City for review and acceptance as part of the Conditional Inspection process prior to receiving a Conditional Certificate of Approval. Sanitary sewer maintenance holes within new subdivisions shall be tested for leakage in accordance with OPSS 407.
- The Owner's Contractor shall construct temporary measures to control silt entering the storm drainage system. These measures are to remain in place until construction has been completed off to the specifications of the City Engineer. Geotextile and straw bale filters shall be installed around all existing and new CB's and CBMH's immediately upon installation in accordance with the detail. Straw bales are to remain in place until paving and/or sodding is complete.
- The structural design of sewers is based upon the transition width unless otherwise noted.
- All work shall be done in accordance with the minimum standards and specifications of the City of London Environmental Services Department including proper finishing off and paring of pipes in manholes and catchbasins and proper benching and manhole steps. Upon completion of sewer works, the Owner's Contractor is responsible for flushing and cleaning the sewers, manholes, catchbasin manholes and catchbasins and for successfully pulling a "pig" through the flexible sewer pipes. The Owner's Contractor shall undertake suitable manhole tests for installed flexible sewer pipes in accordance with OPSS 410, and full video inspection of all sewers per OPSS 409 to the satisfaction of the Engineer.
- All sewers and watermain are to be installed in accordance with the minimum requirements of the latest revision of the Ontario Provincial Standard Specifications and the City of London Engineering Department. The Engineer will conduct periodic inspections to ensure that the proper standards are being met.
- Any proposed substitutions are subject to approval by the Engineer.
- Plugs are required in all sanitary sewers to protect existing sewers from construction flows and debris. The plugs shall be per a mechanical screw plug and secured to the ladder rungs, and installed in the first existing MH downstream of the construction phase on the downstream manhole where possible. If there are no additional existing sewers entering the first existing MH downstream of construction, the plug shall be installed in the first newly installed MH. Additional care shall be taken during the installation of this sewer and MH until the plug can be installed. If the plug is removed for testing purposes it is to be replaced immediately upon completion of testing. Plugs are to be removed in conjunction with Conditional Clearance and witnessed by Development Inspections Staff.

SURFACE WATER QUALITY PROTECTION

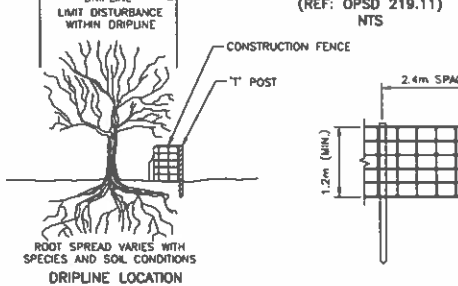
- The Owner's Contractor shall ensure that no waste substances/materials or excessive sediment loads resulting from work activities enter the municipal drainage systems.

HARDSHAPE SURFACING (ROADS, LANES, PARKING, CURBS, SIDEWALKS) NOTES

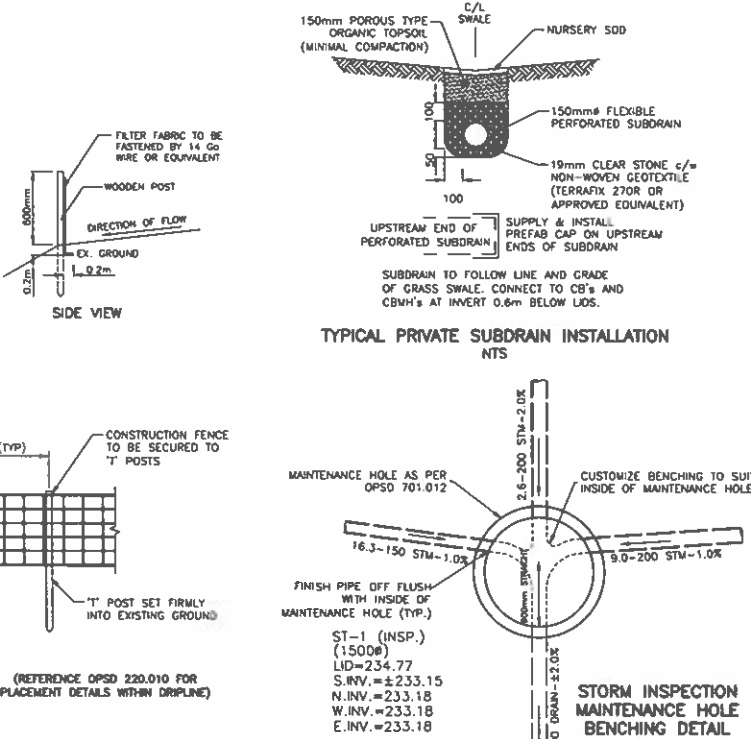
- All dimensions for roadworks are to edge of pavement unless otherwise shown. Curb radii are shown to edge of pavement.
- Material Conformance:** Prior to import of materials to the work site, the Owner's Contractor shall make arrangements for the geotechnical analysis of Granular A and B materials to prove conformance with OPSS 1010. Asphalt mix designs shall be submitted to indicate conformance with OPSS 1150 and placement should be undertaken in accordance with OPSS 310. Concrete shall be placed in accordance with OPSS 353 and OPSS 1350.
- All organic, unstable or unsuitable materials beneath the road allowances or paved areas must be removed and these areas backfilled with an approved fill material or OPSS Granular 'B' compacted to 98% SPMD, all to the satisfaction of a Geotechnical Engineer.
- All existing boulevards and road surfaces disturbed during construction shall be restored to a condition at least as good as original, all to the satisfaction of the City Engineer.
- All concrete to be OPS mix 30 MPa at 28 days unless otherwise noted.
- All on-site curb & gutter shall be constructed as per OPSS 500.110 unless otherwise specified.
- Sidewalks shall be founded upon competent subgrade compacted to 98% SPMD and minimum 100mm Granular 'A' compacted to 98% SPMD. All sidewalk approaches to roadways shall have ramps constructed per City standards.
- All public right of way curb & gutter shall be constructed as per OPSS 600.010 unless otherwise specified.
- Finishing of Subdrain Lids:** After placement of granular base and binder asphalt, a further 6 month delay is recommended for surface course asphalt placement to permit a pavement evolution to be undertaken by the Geotechnical Engineer to identify repair or remedial works.
- The Owner's Contractor shall raise all CB's to final grade and complete concrete curb setbacks prior to delayed sheet asphalt.
- All rip-rap material should comprise of sound limestone, free of inclusions. The limestone should be blasted or crushed with an average size as noted on the plans and should be approved by the Geotechnical Engineer at the quarry prior to use on site. The rip-rap shall be underlain with Terrafix 270R geotextile or an approved equal.
- Any proposed substitutions subject to approval by the Engineer.



LIGHT-DUTY SILT FENCE (REF. OPSS 219.11) NTS

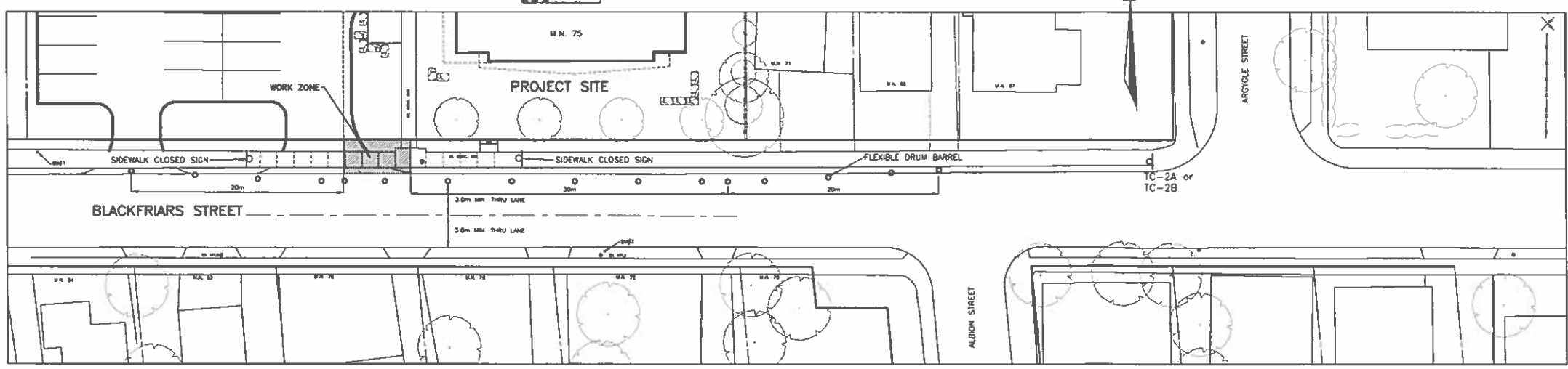


TYPICAL PRIVATE SUBDRAIN INSTALLATION NTS



BLACKFRIARS STREET WORKS NORTH SIDE OF ROAD - ENTRANCE WIDENING

AS PER FIGURE TS-6 OF BOOK 7 OF THE ONTARIO TRAFFIC MANUAL (MODIFIED TO SUIT) NOTE: 40 KM/HR POSTED SPEED.



TRAFFIC MANAGEMENT NOTES:

- OWNER'S CONTRACTOR TO COMPLY WITH MINISTRY OF LABOUR DIRECTIVES AND ONTARIO TRAFFIC MANUAL BOOK 7 AS A MINIMUM FOR SITE SPECIFIC TRAFFIC CONTROL.
- ALL WORKS ARE TO BE CONDUCTED WITHIN THE MINISTRY OF LABOUR, OPSS, CITY OF LONDON AND THE MINISTRY OF TRANSPORTATION.
- TRAFFIC MANAGEMENT PLANS BASED ON STANDARD 40km/hr ROAD AND VERY SHORT DURATION.
- ALL AREAS DISTURBED IN THE RIGHT OF WAY INCLUDING ASPHALT, CURB AND GUTTER, SIDEWALK AND SOD SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER PER THE CITY OF LONDON STANDARDS.
- OWNER'S CONTRACTOR SHALL NOTIFY LONDON TRANSIT COMMISSION (LTC) A MINIMUM OF 2 WEEKS PRIOR TO CONSTRUCTION TO ALLOW FOR TEMPORARY RE-ROUTING.
- OWNER'S CONTRACTOR SHALL CONDUCT ALL RIGHT OF WAY WORKS DURING OFF-PEAK HOURS AS DIRECTED BY THE CITY OF LONDON.
- CONTRACTOR TO MAINTAIN PRIVATE DRIVEWAY ACCESS AT ALL TIMES ANY SHORT TERM PERIOD WITH NO ACCESS (i.e. CURB/SIDEWALK CONSTRUCTION) SHALL BE COORDINATED WITH PROPERTY OWNERS.
- SPOTTER/FLAGMAN SHALL BE USED FOR HEAVY EQUIPMENT ACTIVITY SUCH AS MATERIAL AND MACHINERY DELIVERY, LOADING AND UNLOADING, ETC., OR ANY OTHER ACTIVITY WITHIN ANY CITY STREET R.O.W. THAT WILL INTERRUPT OR IMPEDE NORMAL TRAFFIC FLOW.

LEGEND

- TC-2A - ROADWORK (square A frame)
- TC-2B - ROADWORK (diamond portable sign stand)
- - DENOTES FLEXIBLE DRUM BARREL (4m-6m SPACING)
- ▨ - DENOTES APPROXIMATE LIMITS OF WORKS
- - DENOTES SIGN
- ◄ - FACING SIDE OF SIGN(S)

BENCHMARKS:

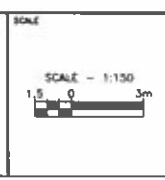
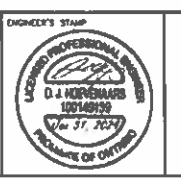
- BW#1: CROSS CUT IN BACK OF CONCRETE SIDEWALK, ON NORTH SIDE OF BLACKFRIARS STREET, IN LINE WITH WEST CURB LINE OF PARKING LOT NEAR WEST LIMIT OF SITE. ELEV.=234.119m
 - BW#2: CROSS CUT IN TOP SOUTH CURB LINE OF BLACKFRIARS STREET AT HPLS #363A, JUST EAST OF M.N. 76. ELEV.=234.364m
- CONTRACTOR TO REFER TO 2 (TWO) BENCHMARKS AT ALL TIMES DURING CONSTRUCTION

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
	DESIGN BY RAO					1	ISSUED FOR SPA1	AUG. 2/23	DEVELOPMENT ENGINEERING
	DRAWN BY RAO					2	RE-ISSUED FOR SPA1	SEP. 7/23	DEVELOPMENT ENGINEERING
	CHECKED BY JF					3	ISSUED FOR SPA2	OCT. 31/23	DEVELOPMENT ENGINEERING
	DATE: PNO					4	ISSUED FOR SPA3	JAN. 31/24	DEVELOPMENT ENGINEERING

CONTRACTOR OR DIVISION
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PARA OFFICE
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development engineering
(London) Limited
CONSULTING CIVIL ENGINEERS



PROJECT No. DEL13-100
SHEET No. SE3
PLAN FILE No.

75 BLACKFRIARS STREET
LONDON, ONTARIO
SOUTHSIDE GROUP

MISCELLANEOUS NOTES AND DETAILS AND TRAFFIC MANAGEMENT PLAN



December 20, 2021

City of London
300 Dufferin Ave.
London, ON

To Whom It May Concern:

Re: Southside Construction Expansion

On behalf of the Blackfriars Neighbourhood Association, I would like to advise that our committee fully endorses the proposed expansion project of Southside Construction Group at 75 Blackfriars Street.

Mr. Vito Frijia, President, has been sensitive/responsive to community concerns regarding development in the Blackfriars neighbourhood. Southside Construction's presence has been a positive and welcome addition to our community.

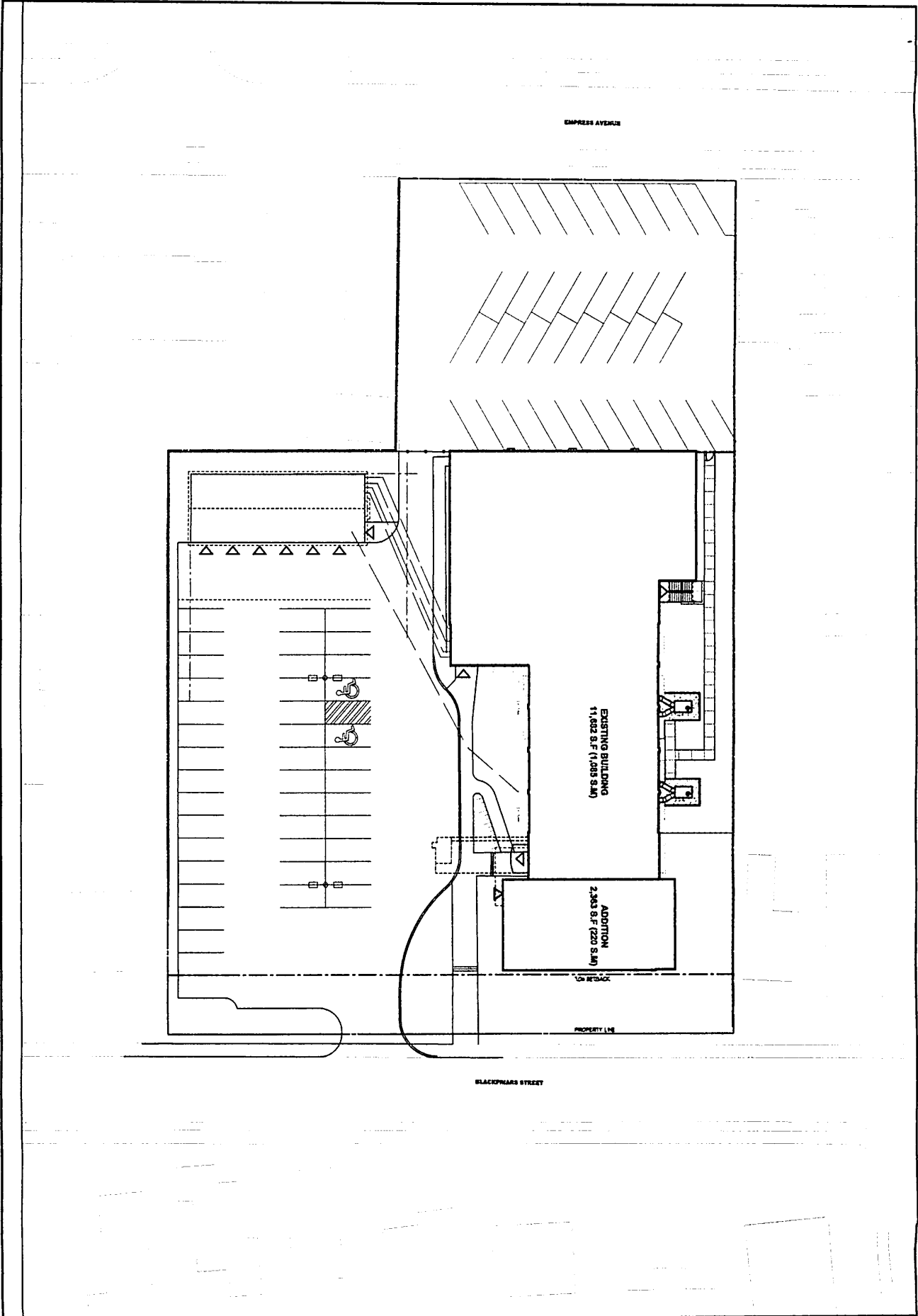
Thank you for your consideration.

Kind regards,

Erin Pease

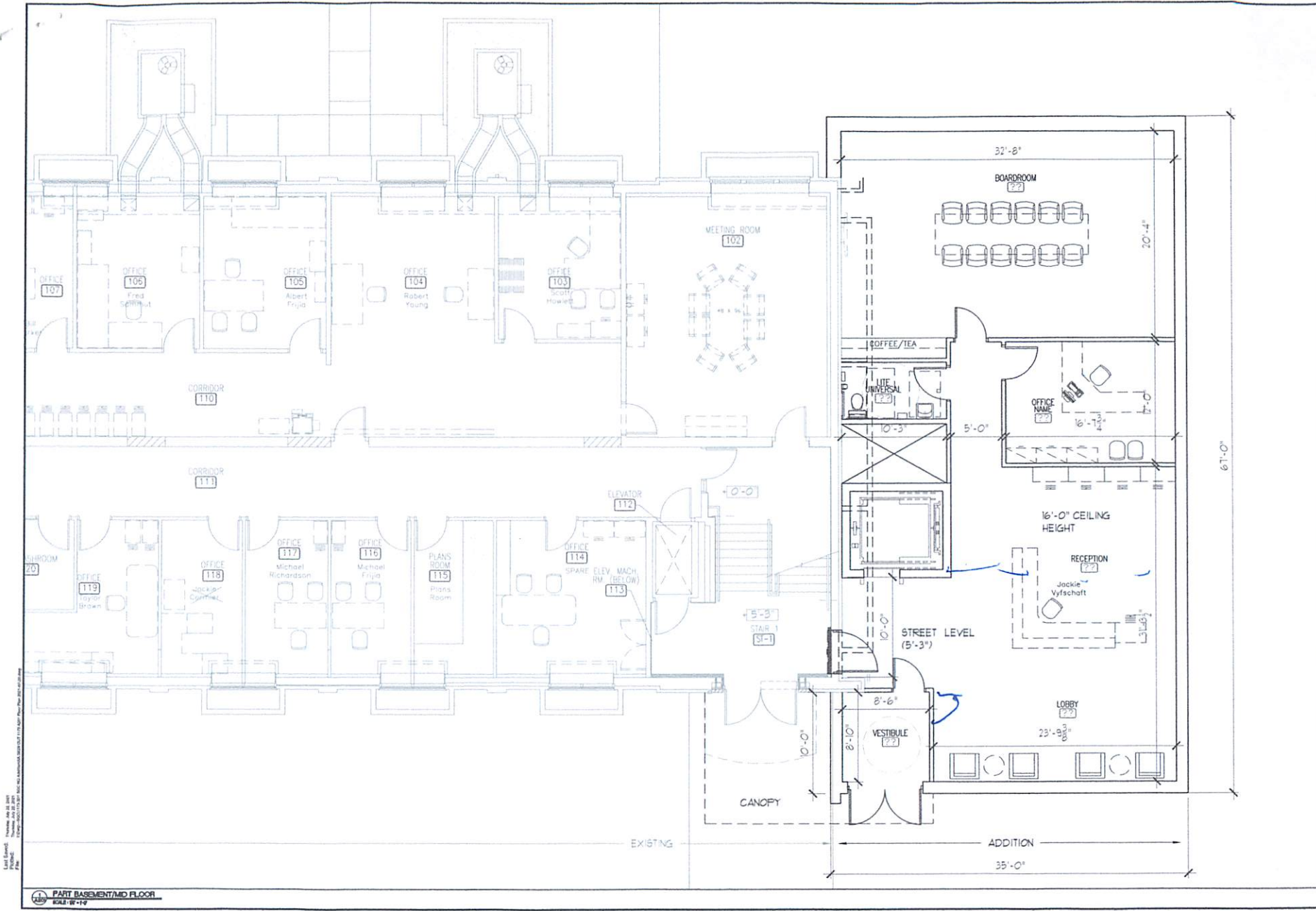
Erin Pease, B.N.A. Committee Chair
4 Cherry Street, London
epease64@hotmail.com

cc: Vito Frijia, Southside Group
Blackfriars Neighbourhood Association – Executive Committee



A101	Project No. 1073	S SOUTHBIDE GROUP	SITE PLAN	AA AGAR ARCHITECT philip agar architect inc. 513 QUEEN STREET, LONDON, ON N6A 1Y2 tel: 519 432 7303 info@agar.arch.com		1. JUNE 2, 2021 (SEE PLAN SHEET REVER)
	Scale AS NOTED		OFFICE ADDITION			75 BLACKFRIARS STREET, LONDON, ONTARIO
	Drawn/Checked By SA/PA					
	Date JUNE 15, 2021					

All drawings are prepared using a computerized system and are subject to the usual errors of such a system. The drawings are prepared using the metric system and are subject to the usual errors of such a system. The drawings are prepared using the metric system and are subject to the usual errors of such a system. The drawings are prepared using the metric system and are subject to the usual errors of such a system.



Date: 2021-06-15
 Project: 2021-06-15
 File: 2021-06-15

PART BASEMENT/MID FLOOR
 SCALE: 1/8" = 1'-0"

1	JUNE 15, 2021 (REVISED)
	PROFESSIONAL ENGINEER IN ONTARIO
	AGAR ARCHITECT philip agar architect inc. 575 BROADVIEW AVENUE, SUITE 200, TORONTO, ONTARIO M4M 1B7 TEL: 416-593-2222 FAX: 416-593-2223
PARTIAL FLOOR PLANS OFFICE ADDITION 75 BLACKFRIARS STREET, LONDON, ONTARIO	
Project No: AS NOTED Scale: Drawn/Checked By: Date:	SA/PA JUNE 15, 2021
Dwg No: A201	

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