

Meeting of the Upper Thames River Conservation Authority
Hearing Committee – Agenda
Thursday June 29, 2023 12:30pm 1424 Clarke Road, London

Memo to Hearing Committee Members: S.Franke, S.Levin, P.Mitchell, B.Petrie, D.Trentowsky

Please be advised that a meeting of the Hearings Committee will be as follows:

1. Approval of Agenda

2. Declaration of Conflicts of Interest

3. Minutes of the Previous Meeting

4. Business Arising from the Minutes

5. Application #61-23

Proposed interference with a wetland and to permit development within an erosion hazard associated with a river or stream valley and within an area regulated by the Upper Thames River Conservation at 290 Pittock Park Rd., Woodstock

6. Adjournment



Tracy Annett, General Manager

Appendix B
NOTICE OF HEARING

IN THE MATTER OF

The Conservation Authorities Act, R.S.O. 1990, Chapter C. 27 as amended;

AND IN THE MATTER OF

An Application By: Ian Myers c/o Nathan Kok of Everest Estates (Application #61-23)

For the permission of the Upper Thames River Conservation Authority pursuant to Regulations made under Section 28 (12) of said Act.

TAKE NOTICE that a hearing before the Hearings Committee of the Upper Thames River Conservation Authority will be held under Section 28 of the Conservation Authorities Act at the offices of said Authority at the UTRCA Administration Office, 1424 Clarke Road, London, Ontario N5V 5B9 at the hour of 12:30 pm, Thursday, June 29th, 2023 with respect to the application by Ian Myers c/o Nathan Kok of Everest Estates to permit interference with a wetland and to permit development within an erosion hazard associated with a river or stream valley and within an area regulated by the Upper Thames River Conservation Authority under Ontario Regulation 157/06 - *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses* made pursuant to Section 28 of the Conservation Authorities Act at 290 Pittock Park Road in the City of Woodstock, Ontario.

TAKE NOTICE THAT you are invited to make a delegation and submit supporting written material (electronically) to the Hearings Committee for the meeting of June 29, 2023. If you intend to appear and/or submit further written material, please contact Ben Dafoe ((519)-451-2800 ext. 316, e-mail dafoeb@thamesriver.on.ca). Any further written material (submitted electronically) will be required as soon as possible, to enable the Committee members to review the material prior to the meeting.

AND FURTHER TAKE NOTICE that if you do not attend at this Hearing, the Hearings Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings.

PLEASE NOTIFY THIS OFFICE by 12:00 noon June 21, 2023 (local time) as to whether you and/or your agent(s) will be attending. A copy of Ontario Regulation 157/06 and Section 28 of the Conservation Authorities Act will be made available to you upon request.

DATED the 20th day of June 2023
Registered

The Hearings Committee of
The Upper Thames River Conservation Authority



Tracy Annett, General Manager/Secretary-Treasurer

HEARING PROCEDURES

1. Motion to sit as a Hearings Committee to consider the application by Ian Myers c/o Nathan Kok of Everest Estates, 290 Pittock Park Road in the City of Woodstock, Ontario (Application 61-23)
2. Chair's opening remarks.
3. Staff will introduce Hearings Committee members (and the UTRCA Solicitor if present) to the applicant/owner, his/her agent and others wishing to speak.
4. Staff will indicate the nature and location of the subject application.
5. Staff will present their report on the application.
6. The applicant and/or his/her agent will speak and also make any comments on the staff report, if he desires.
7. Members of the Hearings Committee will question, if necessary, both the staff and the applicant/agent.
8. The Hearings Committee may make a motion to adjourn and go into camera and/or may make a motion to arrange to visit the subject site.
9. Upon completion of their deliberations, members of the Hearings Committee may make a motion regarding the application or may resolve to defer any decision on the application.
10. A motion will be carried which will culminate in the decision.
11. The Hearings Committee will move out of camera.
12. The Chair will advise the owner/applicant of the Hearings Committee decision, through Conservation Authority staff if the applicant/agent has left the Hearing location or in person if a decision is rendered with the Applicant/agent still on hand at the UTRCA office.
13. If decision is made to "to refuse", the Chair or Acting Chair shall notify the owner/applicant of his right to appeal the decision to the Minister of Natural Resources and Forestry within 30 days of receipt of the reasons for the decision.
14. Motion to move out of the Hearing.

MEMO

To: Chair and Members of the UTRCA Hearings Committee
From: Jenna Alain, Manager, Environmental Planning and Regulations
Ben Dafoe, Land Use Regulations Officer
Date: June 20, 2023
Agenda #: 5
Subject: Section 28 Permit Application #61-23: Proposed Replacement Construction of Existing Detached Single Family Residence, 290 Pittock Park Road, City of Woodstock

RECOMMENDATION:

THAT the Hearing Committee of the Upper Thames River Conservation Authority (UTRCA) refuse the issuance of a permit under O. Reg. 157/06 made pursuant to Section 28 of the *Conservation Authorities Act for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses (Application #61-23)*, as it is contrary to UTRCA Board-approved riverine flooding hazard and riverine erosion hazard policies.

THE APPLICATION

A Section 28 *Application for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*, Application #61-23 (see Attachment #1), has been submitted for proposed development within riverine flood and erosion hazard land associated with a river or stream valley and area regulated by the Conservation Authority. The application is for the proposed replacement construction of a new single detached family residence at 290 Pittock Park Road, in the City of Woodstock (the “subject lands”).

SITE INFORMATION

The subject lands are regulated by the Upper Thames River Conservation Authority (UTRCA) in accordance with O. Reg. 157/06, pursuant to Section 28 of the *Conservation Authorities Act* due to the presence of a riverine flooding and erosion hazard associated with a watercourse known as the Benfield Drain. Refer to UTRCA Regulation Limit Mapping (see Attachment #2 and #3) that outlines the location of the subject lands and the potential flood and/or erosion hazard lands.

It should be noted that the Regulation is “text-based”. In the case of a discrepancy between the mapping and what is actually observed in the field, the text of the regulation shall prevail over the areas shown as being regulated on the mapping. UTRCA regulatory mapping is used by staff as a tool to guide the review and inform the decision making process for development applications and to inform whether a site visit or further technical studies would be required.

For the subject lands, UTRCA regulatory mapping identifies an erosion hazard that is based on site topography and generally provides a conservative approach to identifying and mapping hazard limits. UTRCA hazard mapping has further identified riverine flood hazard land associated with the Benfield Drain. A flood event (up to and including a Regulatory (1: 250 Year) Flood) could impact the stability of the slope and any development associated within it. Note that a “generic flood hazard limit” has been applied to the Benfield Drain. In the absence of site-specific flood modeling it is the applicant’s responsibility to undertake studies (prepared by a qualified professional) to determine the extent of flooding that may impact a development proposal. Depending on the location and project specifics our flood modeling staff are

specific flood modeling it is the applicant's responsibility to undertake studies (prepared by a qualified professional) to determine the extent of flooding that may impact a development proposal. Depending on the location and project specifics our flood modeling staff are sometimes able to provide a conservative estimation of the Regulatory Flood Elevation so the applicant can avoid the time and expense of having a flood model undertaken. In this instance, a regulatory floodproofing elevation of 297.8 metres was estimated by UTRCA Technical Staff.

It can also be noted that although identified as the "Benfield Drain" on UTRCA and Municipal mapping, there is no records or indication this creek is a municipal drain. Staff have confirmed with City of Woodstock staff on this matter.

As you will note from the attached information there is an existing home located on the subject lands. According to historical aerial imagery, this home was constructed prior to the year 2000 and would have pre-dated the O. Reg. 157/06 (see Attachment 4 –Historic Aerial Imagery). Under current regulations, new development would not have been approved in this proximity to a watercourse.

BACKGROUND

On October 20th, 2021 UTRCA staff received a phone call from the applicant requesting the review and authorization for a development proposal at 290 Pittock Park Road, Woodstock. After initial email exchange, phone conversation as well as a follow up site visit on October 27, 2021 between the applicant and UTRCA staff, a concept sketch (see Attachment 5) was provided on November 9, 2021, which identified an approximately 3900 square foot addition to the existing home and access driveway. The proposed addition to the existing home was intended to be constructed as a shop/garage, and was proposed to be located on the southeast side of the existing home fronting Pittock Park Road.

Following a cursory review of the concept plan and regulatory mapping, on November 11, 2021, UTRCA staff advised the applicant via email that the concept presented in the sketch may be too large for the UTRCA to support at a staff level given it was located in the flood hazard. A record of correspondence up until November 11, 2021 is included in this report (see Attachment 6). Upon receipt of the proposal, staff advised the applicant that UTRCA staff level approvals would limit any addition size to 50% of the existing structure, as the existing home was located within hazard lands. The proposal provided in the initial sketch indicated an over 100% increase in size. The applicant submitted a second submission on November 18th, 2021, which included a drawing that reduced the proposed addition to a 1875 square foot shop (see Attachment 7).

On December 13, 2021 staff sent an email to the applicant indicating a *Conservation Authorities Act*, S28 Permit would be required for the proposed development. Regulation limit mapping was also provided to the applicant along with a description indicating the subject lands were regulated due to the presence of riverine flood and erosion hazard land associated with the Benfield Drain. Permit requirements were to include the following:

- All development was to maintain a minimum 15 metre setback from the top of bank of the Benfield Drain (Upon further review with flood modeling staff, it was determined that an addition that was located greater than 15m from the top of bank of the Benfield Drain would also avoid the flooding hazard associated with the watercourse.)
- A site plan and elevation survey confirming the location of development and any associated grading or additional driveway installation/improvements;
- Further floodproofing requirements for the design of the proposed garage/shop addition were also indicated at this time.

On December 17th, 2021, staff received an email from the applicant indicating a slight change to the previously discussed plans. The applicant expressed interest in including a proposed second story addition to the existing home. Staff correspondence with the applicant including the response to the December 17th, 2021 email is included (see Attachment 8). As the second story addition had not been discussed with UTRCA Staff it was suggested that the proposed plans be included for staff review with the submitted permit application. The applicant indicated that a land surveyor would be engaged, and encouraged to reach out to UTRCA staff once the site plan and survey was complete. Staff were of the understanding this preliminary work was to be undertaken in January of 2022.

On January 19th, 2023 staff received a site plan (Attachment 9) and a request for S28 Permit from Everest Homes (the agent working on behalf of the applicant) for 290 Pittock Park Road. At this time the site plan indicated a proposed second story addition within the footprint of the existing home. It was indicated on the site plan that grading was planned within 15m of the watercourse, contrary to previous consultation with the applicant. Further information was requested by UTRCA staff. Design drawings and a S28 permit application were provided by the Agent on January 20, 2023, which indicated a second story addition, main floor interior renovation, full basement renovation as well as a replacement and addition to the existing deck (see Design Drawings included as Attachment 10). Based on these designs (titled "Meyers Rebuild"), the application appeared to be for a complete replacement home as opposed to an addition as previously consulted on with staff in 2021.

The applicant later confirmed there would be some interior renovations as part of the permit application on January 23rd, 2023, but affirmed the intent of the project was to accommodate a garage addition and second floor addition (see all correspondence up until January 23rd in Attachment 11). After detailed review, UTRCA staff indicated to the Applicant that the application could not be supported at a staff level based on the proposed size increase (both footprint and gross floor area), as well as lack of technical support from qualified professionals considering the flooding and erosion hazards present on the property. UTRCA staff indicated that an application of this nature could not be approved at a staff level and instead would require a hearing with the UTRCA Board of Directors Hearing Committee. It was suggested at the time that if the proposal was in fact for a replacement home, staff would be supportive of the application if the proposed replacement home was relocated further back from the Benfield Drain. Additionally, UTRCA staff indicated they would be in support if the proposal was limited to the construction of the garage addition as previously consulted. At this point the Applicant requested to have the application heard by the UTRCA Board of Directors Hearing Committee.

UTRCA staff provided a complete list of permit application requirements on February 16, 2023 (see attachment 12). This included a request for calculations for the proposed total increase in footprint size and gross floor area, a request for site visit to confirm basement ceiling heights (confirmation it would qualify as part of total existing gross floor area), flood proofing requirements, geotechnical requirements, and setback requirements for proposed grading. A site visit was arranged between the Applicant, the Agent and UTRCA staff on March 2, 2023 where the following was discussed:

- Viability of enclosing the Benfield Drain to avoid addressing flooding and erosion hazards as part of the current application;
- Further opportunities for erosion control and bank stabilization of the Benfield Drain;
- Grading plan as part of the current application;
- Phasing the project through 2 separate applications to avoid policy size constraints;
- Modification of the proposal to follow UTRCA policy;
- Geotechnical engineering and floodproofing engineering considerations for the application;

- **Decision as to whether the proposal was for a replacement structure or an addition. At this time it was confirmed the current application was for a rebuild of the existing home. UTRCA staff encourage the Agent to consider making best efforts to relocate the proposed replacement home to an area further away from the hazard;**
- Measurement of the existing basement floor ceiling height was taken at this time by UTRCA staff to confirm the gross floor area of the basement was considered “habitable space”. A basement ceiling height of 2210mm was measured. Under building code a basement is identified as “habitable space” if the ceiling height (finished floor to bottom of upper floor joist) is greater than 2100mm. It can also be noted that the majority of the basement was finished and being used as habitable space.

Staff were also able to confirm existing conditions on the subject property. As mapping indicates, the existing home is located directly at top of bank of the watercourse. Further discussion between UTRCA staff, the applicant and the Agent involved exploring option of maintaining a best effort to relocate the proposed replacement home outside of the erosion hazard and regulation limit. The idea of a relocation of 3 metres away (Due East) from the watercourse top-of-bank was discussed and proposed by the Agent of the applicant in order to allow an increased setback over existing conditions. Staff had indicated that a relocation of 3 metres was a move in the correct direction, but it ultimately would not be based on any geotechnical engineering principals or the Ontario Ministry of Natural Resources and Forestry Technical Guidelines for Riverine Flooding and Erosion Hazards. It was also not in keeping with minimum 15 metre setbacks (for a watercourse of this nature) under current regulations.

A copy of the site visit summary and UTRCA staff comments (March 8, 2023), addressing each of these points noted above was provided to the Applicant and Agent following the site visit (see Attachment 13). Photos from this site visit are included in Attachment 14.

An amended site plan was provided to UTRCA staff on March 29, 2023 (see Attachment 15). A minor variance from the City for a reduced front yard setback would be required to accommodate this proposal.

DISCUSSION

The application has been evaluated by staff for conformity with the policies contained in the UTRCA Board-approved *Environmental Planning Policy Manual* (June 2006) (EPPM).

Section 4.2.1 General Policies for Hazard Limit (1) states that, “*development and site alteration shall be directed away from hazard lands where there is an unacceptable risk to public health or safety or property damage and shall be directed to areas located outside of the defined limits of the hazard.*”

Policy 4.2.2 Replacement Structures in the Floodway (6) states that “*Replacement structures may be permitted by the UTRCA provided that the replacement structure, its construction and any new servicing requirements comply with:*” (a) “*The structure can be floodproofed to the level of the Regulatory Flood. If Regulatory Flood protection is not technically feasible, a lower level of flood risk protection may be permitted and must be provided to the maximum elevation possible as determined on the basis of site-specific evaluation*”. Additionally, policy (6)(b) states “*the proposed structure must not exceed the total “footprint” area of the original structure as it existed on (April 25, 2000).*” Additionally 4.2.2 (h) states that “*Approval of an application under this policy will be subject to the consent of the UTRCA’s Hearings and Personnel Committee.*”

Policy 4.2.3 Riverine Erosion Hazard Policies (5) states that “*In specific cases where buildings, structures or private access roads already exist on a valley wall, reconstruction or alteration may*

be permitted subject to: (a) Best efforts must be undertaken to relocate the existing structure outside of the valley and associated tableland Regulation Limit and (b) A qualified professional must complete a geotechnical study to determine the risk of the proposed work. The study will include an assessment of the stability of the valley wall, rate of erosion or recession of the valley wall, access issues and an assessment of the construction technique on the valley wall. The design of any works must ensure that the long-term stability of the valley wall is maintained and that no risk to life or property damage is anticipated.”

Policy 4.2.5 Watercourse & Flood Plain Alteration Policies (6) states that *“Watercourses will be protected, improved or restored by minimizing potential negative impacts, having full regard for riparian rights and conditions. (7). Development and site alteration will be restricted in or near watercourses so that those features and their related hydrologic functions are protected, improved or restored.”*

Please also note a municipal minor variance would be required for the current proposal in advance of the applicant obtaining either UTRCA s.28 approval and/or obtaining a municipal building permit

UTRCA staff are seeking direction from the Hearings Committee on this application for approval in principle with consideration for the UTRCA policy framework for replacement development in hazard lands. UTRCA staff note, there is an opportunity to reconfigure the current plans in order to conform with our policies regarding footprint size increase within the flood hazard. A change in design and footprint may also yield opportunity to relocate the entire structure with a more appropriate setback from the adjacent watercourse. (For new development that is ideally 15m from top of bank.) The reduction in footprint size with the flood hazard and a more appropriate setback from the watercourse would be in keeping with staff recommendations for approval through prior hearings. UTRCA staff would be in support of a redesign based on provincially approved principals of locating and avoiding the flooding and erosion hazard. Where there is an option to relocate and redesign that is always the preferred option.

However, should the Hearing Committee decision be favourable for the applicant to proceed as currently proposed, staff would recommend the following studies be completed to support the application.

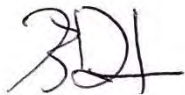
- A qualified professional must complete a geotechnical study to determine the risk of the proposed work and advise on requirements and mitigation measures that must be incorporated into the site design. The study must detail how the works (including development, grading, filling, excavation, drainage, etc.) should be carried out in order to ensure no detrimental impacts to the watercourse, the proposed development and any upstream/downstream/adjacent property owned by others.
- Details on how all the development will be designed to be floodproofed to the regulatory flood elevation of 297.8 metres geodetic. Details should be prepared and stamped by a qualified professional (structural engineer with experience in floodproofing).
- Written confirmation from a qualified professional that the development, grading and drainage works proposed would not cause or exacerbate flooding on upstream/downstream/adjacent properties. Any loss of flood storage generally would need to be accompanied with a stage-storage balance ("cut-and-fill") calculation and plan.
- The applicant has been made aware that in the event of a decision and recommendation of these studies and review, the currently proposed design may not ultimately be feasible at the proposed location given the proximity to the watercourse and the extent of hazard features on the property.

CONCLUSION

The Conservation Authority's approval is required for the issuance of permits under the *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses* Regulation in accordance with Section 28 of the *Conservation Authorities Act*. Applications which conform to board approved policy found within the UTRCA Environmental Planning Policy Manual (June 2006) may be recommended for approval by authority staff who have been granted responsibility to process such proposals. When applications for development are submitted that do not conform to board approved policy, authority staff cannot refuse the application without the benefit of a hearing. Approval of a non-conforming application is then subject to the review and consent of the UTRCA Hearings Committee. Only the UTRCA Hearings Committee can refuse the application.

Based on technical guidelines set forth by the province, provincial hazard policy, UTRCA policy, and the opportunity to relocate the proposed replacement structure to a location further back from the watercourse and outside of the hazard lands where they would not cause or exacerbate flooding on upstream/downstream/adjacent properties, UTRCA staff must recommend refusal of Application #61-23.

Prepared by:



Ben Dafoe, Land Use Regulations Officer

Reviewed by:



Jenna Allain, Manager, Environmental Planning and Regulations

Attachments:

1. Application for Development
2. UTRCA Regulatory Mapping_1 (Flooding Hazard)
3. UTRCA Regulatory Mapping_2 (Erosion Hazard)
4. UTRCA Aerial Imagery (290 Pittock Park Road, Year-2000)
5. Applicant Concept Sketch Version 1 – Received Nov. 9, 2021
6. Correspondence From UTRCA to Applicant – Oct. 21 to Nov. 11, 2021
7. Applicant- Concept Sketch Version 2 – Received Nov. 18, 2021
8. Correspondence From UTRCA to Applicant – Dec. 17, 2021
9. Site Plan (Received Jan. 19, 2023)
10. Building Design Drawings
11. Correspondence up to January 23, 2023
12. Hearing Requirements
13. Correspondence-Site visit Summary (March 8, 2023)
14. Site Visit Photos
15. Amended Site Plan (March 29, 2023)
17. Appendix A - Hearings Procedures (Instructions for the Applicant)
18. Appendix B – Notice of Hearing

**UPPER THAMES RIVER
CONSERVATION AUTHORITY**

Application For Development, Interference with Wetlands and Alterations to Shorelines and Watercourses

Upper Thames River Conservation Authority
1424 Clarke Road London, Ontario N5V 5B9
Tel. (519) 451-2800 Fax (519) 451-1188

Conservation Authorities Act - Ontario Regulation 157/06, under O.reg. 97/04

Application #

Name of Landowner: IAN MYERS Tel. Home:
Address: Postal Code: Tel. Business:
Location of Project: 290 PITTOCK PARK RD. WOODSTOCK OXFORD
Street and Number, or Lot(s) and Concession Number/ 911 Address Municipality

DESCRIPTION OF PROJECT

General description of project: BUILD NEW SINGLE DETACHED FAMILY DWELLING

- All applications must be accompanied by a detailed site plan, providing information on the following:
1. general location of property in relation to roads
 2. location and dimensions of all existing structures on the property
 3. location of any watercourse, wetland or steep slope on or near the subject property
 4. intended location of all proposed work, including construction, filling/grading/excavation, wetland interference or watercourse alteration
 5. location of septic system, if applicable and other property utilities, wells, etc.
 6. cross-section of proposed work, showing existing and final grades and structure openings

Works including floodproofing of structures must be accompanied by detailed drawings, prepared by qualified professional engineers, with proper dates and stamps appearing on all plans. If filling is proposed, details on the type, area and volume of fill must be provided to the UTRCA, with existing and proposed grades clearly presented on plans.

UNLESS OTHERWISE REQUESTED, THE CONSERVATION AUTHORITY ONLY REQUIRES ONE COPY OF ALL PROJECT DRAWINGS. MULTI-PAGED ENGINEERING DRAWINGS MUST BE FOLDED OR REPRODUCED ON 11 x 17" SHEETS.

Dates of Commencement and Completion of Project: June 1, 2023 to July 1, 2024
If other approvals required for this project please indicate
 Federal - Fisheries Act Other _____
 Province - MNR Work Permit Permit to Take Water _____
 Municipal - Building Permit Zoning Severance OPA

Name of Applicant if different than Landowner: NATHAN KOK
Mailing Address if different than above: 210 MAIN ST E. OTTERVILLE
Postal Code: N0J 1R0 Phone Number: 519-788-8599 Email Address: secretary@everestestateshomes.com

Applicant's Signature: [Signature]
Application Date Month: _____ Day: _____ Year: _____
Agent for Applicant (if different from above): EVEREST ESTATE HOMES INC.
Mailing Address: 210 MAIN ST. E OTTERVILLE ON
Postal Code: N0J 1R0 Phone Number: 519-788-8599 Email Address: nathan@everestestateshomes.com

For UTRCA Completion Only

Application fee: _____ Date received: _____ Received by: _____
Regulatory floodline elevation: _____ Typical ground elevation: _____
Other pertinent comments _____
Project-specific requirements (refer to page 2 for general conditions) _____

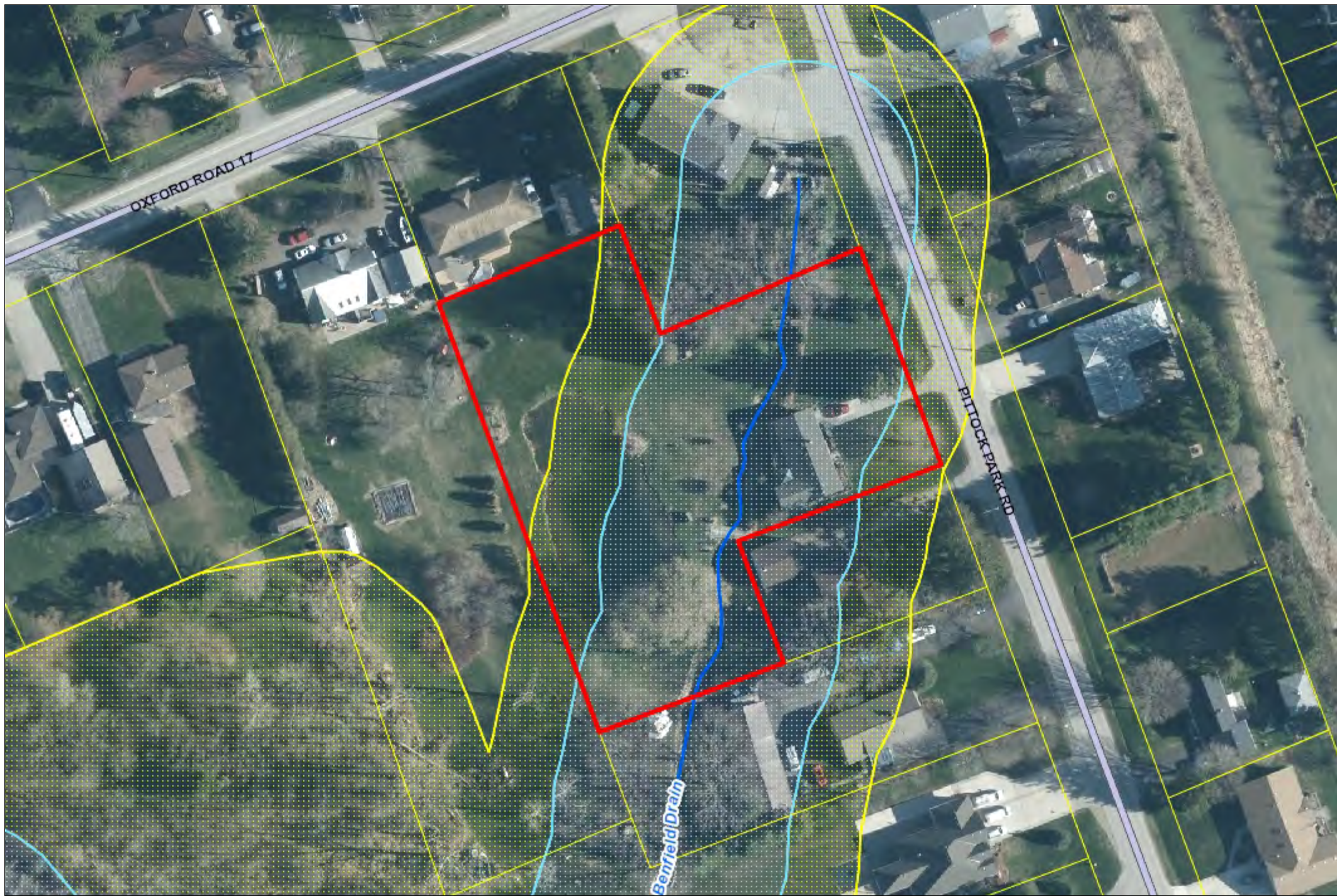
Approved by: _____ Date approved: _____
Site inspection: Date: _____ By: _____

TERMS AND CONDITIONS

The Owner and Applicant, by acceptance of and in consideration of the issuance of this permit, agree to the following terms and conditions:

1. Permission granted by the Upper Thames River Conservation Authority cannot be transferred without prior written approval from the Upper Thames River Conservation Authority.
2. Approvals may be required from other agencies prior to undertaking the work proposed. The Upper Thames River Conservation Authority does not exempt the Applicant from complying with any or all other approvals, laws, statutes, or regulations.
3. The Upper Thames River Conservation Authority may at any time withdraw any permission given if, in the opinion of the Conservation Authority, *the representations contained in the application for permission are not carried out or the conditions/requirements of the permit are not complied with.*
4. Authorized representatives of the Upper Thames River Conservation Authority may at any time enter onto the lands that are described herein, in order to make any surveys, examinations, investigations or inspections that are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. The Owner and Applicant agree:
 - To indemnify and save harmless the Upper Thames River Conservation Authority and its officers, employees, or agents from and against all damage, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the Owner and/or Applicant or any of his agents, employees or contractors relating to any of the particulars, terms or conditions of this permit;
 - That this permit shall not release the Applicant from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law;
 - *That all complaints arising from the execution of the works authorized under this permit shall be reported immediately by the Applicant to the Upper Thames River Conservation Authority. The Applicant shall indicate any action that has been taken, or is planned to be taken, with regard to each complaint.*
6. The project shall be carried out in full accordance with the plans submitted in support of the application.
7. The Applicant agrees to install and maintain all sedimentation controls until all disturbed areas have been stabilized.
8. All disturbed areas shall be seeded, sodded, or stabilized in some other manner acceptable to the Conservation Authority as soon as possible, and prior to the expiry of this permit.
9. The Applicant agrees to maintain all existing drainage patterns, and not to obstruct external drainage from other adjacent private lands.

NOTE: The information on this form is being collected for the purpose of administering a regulation made pursuant to Section 28, Conservation Authorities Act, R.S.O. 1990, Chapter 27. This application and supporting documents and any other documentation received relating to this application, may be released, in whole or in part, to other persons in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990c. M.56, as amended



Regulated Areas

Regulation under s.28 of the *Conservation Authorities Act*
 Development, interference with wetlands, and alterations
 to shorelines and watercourses. O.Reg 157/06, 97/04.

Legend

- UTRCA Watershed (2017 LiDAR)
- Assessment Parcel (MPAC)
- Watercourse (UTRCA)
 - Open
 - Tiled
- Flooding Hazard Limit
- Regulation Limit 2021

The mapping is for information screening purposes only, and shows the approximate regulation limits. The text of Ontario Regulation 157/06 supersedes the mapping as represented by this data layer. This mapping is subject to change. A site specific determination may be made by the UTRCA.

This layer is the approximate limit for areas regulated under Ontario Regulation 157/06 - Upper Thames River Conservation Authority: Development, Interference with Wetlands and Alterations to Shorelines and Watercourses, which came into effect May 4, 2006.

The UTRCA disclaims explicitly any warranty, representation or guarantee as to the content, sequence, accuracy, timeliness, fitness for a particular purpose, merchantability or completeness of any of the data depicted and provided herein.

The UTRCA assumes no liability for any errors, omissions or inaccuracies in the information provided herein and further assumes no liability for any decisions made or actions taken or not taken by any person in reliance upon the information and data furnished hereunder.

This map is not a substitute for professional advice. Please contact UTRCA staff for any changes, updates and amendments to the information provided.

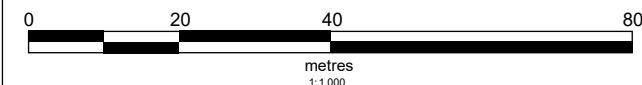
This document is not a Plan of Survey.

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Notes:
 290 Pittock Park Road (City of Woodstock) Flood Hazard

Created By: BD June 12, 2023

* Please note: Any reference to scale on this map is only appropriate when it is printed landscape on legal-sized (8.5" x 14") paper.





Regulated Areas

Regulation under s.28 of the Conservation Authorities Act
 Development, interference with wetlands, and alterations
 to shorelines and watercourses. O.Reg 157/06, 97/04.

Legend

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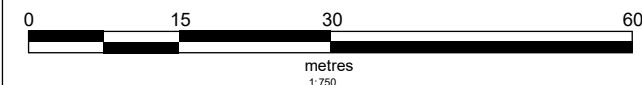
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Notes:
 290 Pittock Park Road (City of Woodstock) Erosion Hazard

Created By: BD June 12, 2023

* Please note: Any reference to scale on this map is only appropriate when it is printed landscape on legal-sized (8.5" x 14") paper.





Regulated Areas

Regulation under s.28 of the Conservation Authorities Act
 Development, interference with wetlands, and alterations
 to shorelines and watercourses. O.Reg 157/06, 97/04.

Legend

- UTRCA Watershed (2017 LiDAR)
- Assessment Parcel (MPAC)
- Watercourse (UTRCA)**
 - Open
 - Tiled

The mapping is for information screening purposes only, and shows the approximate regulation limits. The text of Ontario Regulation 157/06 supersedes the mapping as represented by this data layer. This mapping is subject to change. A site specific determination may be made by the UTRCA.

This layer is the approximate limit for areas regulated under Ontario Regulation 157/06 - Upper Thames River Conservation Authority: Development, Interference with Wetlands and Alterations to Shorelines and Watercourses, which came into effect May 4, 2006.

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The UTRCA assumes no liability for any errors, omissions or inaccuracies in the information provided herein and further assumes no liability for any decisions made or actions taken or not taken by any person in reliance upon the information and data furnished hereunder.

This map is not a substitute for professional advice. Please contact UTRCA staff for any changes, updates and amendments to the information provided.

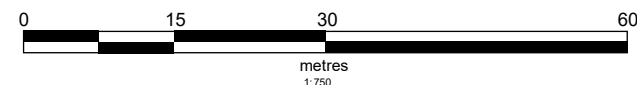
This document is not a Plan of Survey.

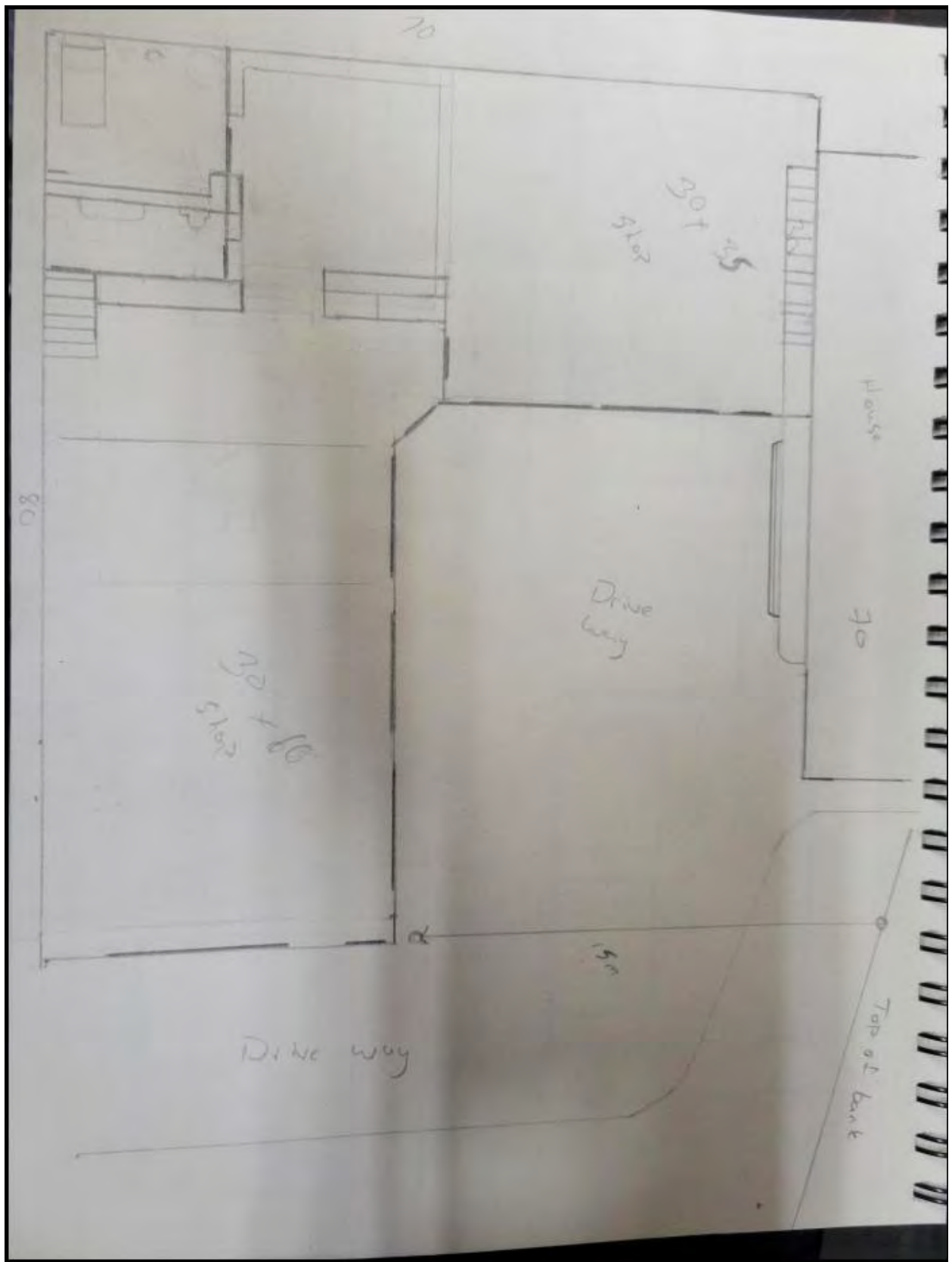
Sources: Base data, Aerial Photography used under licence with the Ontario Ministry of Northern Development, Mines, Natural Resources and Forestry Copyright © Queen's Printer for Ontario; City of London.

Notes:
 290 Pittock Park Road (City of Woodstock) Year 2000

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RegulationsInquiry - Re: 290 Pittock Park Road

From: Ben Dafoe
To: Ian Myers
Date: 2021-11-11 9:45 AM
Subject: Re: 290 Pittock Park Road

Hi Ian,

Thanks for providing the sketch as to what you are thinking. One issue I see with the drawing is that driveways are included in the Conservation Authorities definition of "development." The current proposed development would put the driveway within 15m from top of bank of the Benfield Drain, which we would not be able to permit. Under the UTRCA's Environmental Planning and Policies Manual, additions to existing structures within the floodplane may be subject to size requirements. In practice, our approvals would range at 50% of the original structure (existing house). This development may be too large for UTRCA to support. A few other comments;

- have you provided drawing details on size of addition to the city-this might require site plan approval (I think its 3900 square feet)?
- I have not heard back from our flood modeling staff, but a request has been put in for the regulatory flood elevation-this ultimately will determine what setbacks will be required and give you better comments from me-I will let you know when I receive comment.

Any questions, feel free to give me a call.

Thanks,



Ben Dafoe

Land Use Regulations Officer
 Upper Thames River Conservation Authority
 BSc. BEd.

1424 Clarke Road London, Ontario N5V 5B9
[\(519\) 451-2800](tel:5194512800) Ext 316
dafoeb@thamesriver.on.ca

>>> Ian Myers [REDACTED] 2021-11-09 9:42 AM >>>

Hey Ben. Sorry it took a bit, I've been pretty swamped lately. Here's a sketch of what I'm thinking. Hopefully you'll agree that it's with in restrictions.

Thanks for your time.
 Ian Myers

Sent from my Bell Samsung device over Canada's largest network.

From: Ben Dafoe <dafoeb@thamesriver.on.ca>
Sent: Monday, October 25, 2021 2:27:35 PM
To: Ian Myers [REDACTED]
Subject: Re: 290 Pittock Park Road

Sounds good Ian,

Can you please send me a rough sketch of a site plan where you are proposing to build, just to confirm my thinking before the meeting?

Thanks,



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Please let me know.

The logo for the Upper Thames River Conservation Authority features a blue horizontal bar at the top, followed by the text "UPPER THAMES RIVER" in blue serif font, and "CONSERVATION AUTHORITY" in white sans-serif font on a green rectangular background.

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Hey Ben. I hope you had a good weekend.
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What would you recommend my next step would be?

Thanks again for your time.

Ian Myers
[REDACTED]

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From: Ben Dafoe <dafoeb@thamesriver.on.ca>
Sent: Thursday, October 21, 2021 1:39:21 PM
To: [REDACTED]
Subject: 290 Pittock Park Road

Hi Ian,

As requested, here is my contact information.

Thanks,



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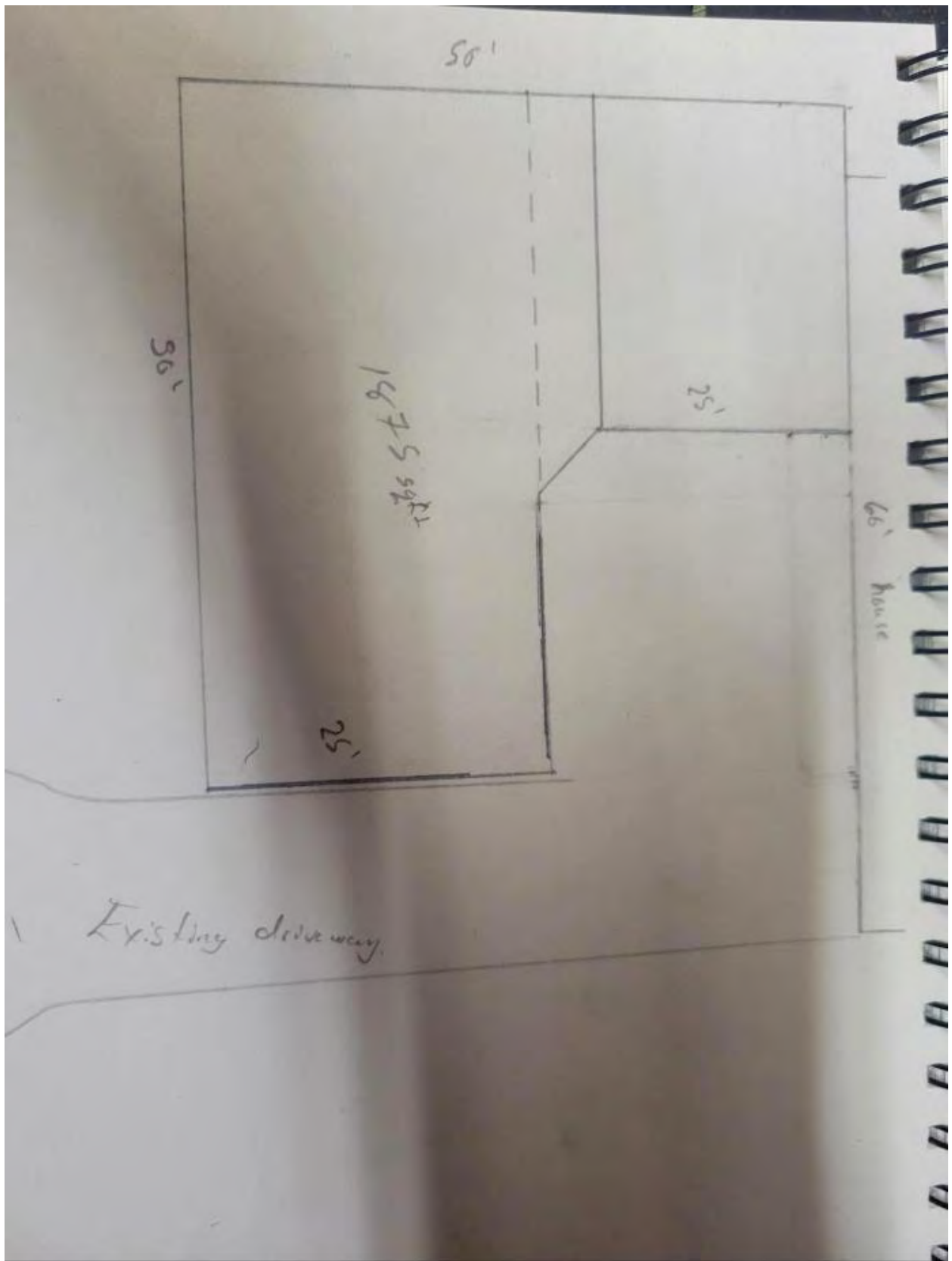
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RegulationsInquiry - RE: 290 Pittock Park Road

From: Ben Dafoe
To: Ian Myers
Date: 2021-12-17 11:22 AM
Subject: RE: 290 Pittock Park Road

Hi Ian,

We can't necessarily recommend a land surveyor or keep a list, but we always recommend that you ask if they have worked with UTRCA before and to reach out to us for any notes on the project before performing the survey.

As for the second floor, please send those drawings along with you S28 application.

In addition to the information noted above, the UTRCA will require the following to complete our review:

A completed UTRCA permit application form. Available at our website at:

http://thamesriver.on.ca/wp-content/uploads/PlanningRegulations/application_for_consent.pdf

The associated permit review fee- which will be dependent on the final proposal. UTRCA fee schedule is available on our website at:

<http://thamesriver.on.ca/wp-content/uploads//UTRCA2021-Section28PermitFees.pdf>

- A site plan (clearly indicating size and location of all proposed development, construction, filling, excavation, site grading, etc. in relation to existing development and/or existing landmarks);
- Detailed design drawings of the new building
- General details of how much fill would be brought onto the site and that it will be clean fill. Also, confirmation that fill removed from the property will not be moved to a location regulated by the Conservation Authority.
- Sediment and erosion control plan which contains details of how any exposed soils will be prevented from reaching the adjacent watercourse (Benfield Drain) during construction. This will be required during all construction
- Any other information pertinent to our review.
- Also if you need city approvals for the project, please inform us, as the process slightly changes.

Thanks Ian,

If you have any questions about the above, please let me know.

UPPER THAMES RIVER

CONSERVATION AUTHORITY

Ben Dafoe

Land Use Regulations Officer

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>>> Ian Myers [REDACTED] 2021-12-17 10:18 AM >>>

Hey Ben, thanks for getting back to me on this. Is there any recommended land surveyor that Upper Thames would prefer me using? And after the survey is when I would apply for the permit for building through Upper Thames?

Also there has been a slight idea change. Nothing to drastic but I'm now thinking of putting a second level on the house. Nothing will be built outside of the existing house foundation (other than the garage out front where we discussed.)

I cant see building up will effect our plans.

Thanks for your time.

Ian

Sent from [Mail](#) for Windows

From: [Ben Dafoe](#)

Sent: December 13, 2021 3:15 PM

To: [Ian Myers](#)

Subject: Re: 290 Pittock Park Road

Hi Ian,

As an update, I have heard back from our flood modeling team. The direction would be that as long as the development remains within the current proposed location/size in the current rough sketch we have been refining (sent November 18, 2021), as well as remains minimum 15m set back from top of bank of the Benfield drain, development would be considered. A Conservation Authorities Act, Section 28 permit would be required for any development.

Next Steps:

As you can see from this mapping and discussed on site a portion of the property is regulated due to the presence of riverine flood and erosion hazard land. A Conservation Authorities Section 28 Permit may be required for any proposed works.

Provided that all development is maintaining at minimum a setback of 15 metres of the Benfield Drain, the UTRCA would be able to support development through the permit process. Please provide an elevation survey (completed by a qualified professional Ontario Lands Surveyor) confirming that all development is located at a minimum of 15m from the Benfield Drain. Please ensure the survey/site plan shows size and location of the new building, site grading/ alteration, any new impervious area that may need to be added to the property (i.e. new or expanded driveway/parking) in relation to existing landmarks and/or lot lines. As the development is being added to the existing house and will be within the flooding hazard elevation, further floodproofing requirements/design specifications will be required.

If you have any questions, please feel free to give me a call.

Thank you,

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>>> Ian Myers [REDACTED] 11/18/2021 4:12 PM >>>

Hey Ben. Sorry for the late reply. It's been another busy week for me. I thought I'd shoot for the stars with the last drawing, I had a feeling I'd have to scale back with it so I've attached he'd a new rough plan for approval. I don't necessarily agree with the complications with the driveway. In the end if there is a flood of that magnitude the new driveway will be the least of anyines worries. Anyways I've redone the sketch and nothing comes into the side yard now.

Unfortunately with this property and having upper thames control the waterways the city won't approve anything until I have something in writing stating that what I'm looking to do is within regulation of upper thames. So hopefully we can agree with the rough sketch I've provided and I an go to the city and pull the trigger on development.

Thanks for your time
 Ian Myers

Sent from my Bell Samsung device over Canada's largest network.

From: Ben Dafoe <dafoeb@thamesriver.on.ca>
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NOTE: EXISTING TOP OF FOUNDATION WALL AND EXISTING UNDERSIDE OF FOOTING ELEVATION ARE UNKNOWN. TOP OF FOUNDATION WALL OF ADDITION TO MATCH EXISTING TOP OF FOUNDATION WALL. DISTANCE FROM T.F.W. TO U.S.F. OF PROPOSED ADDITION IS 2.84m OR 9'4". 8"10" FOUNDATION WALL HEIGHT ON 6" FOOTINGS. THIS IS TO BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.

NOTES

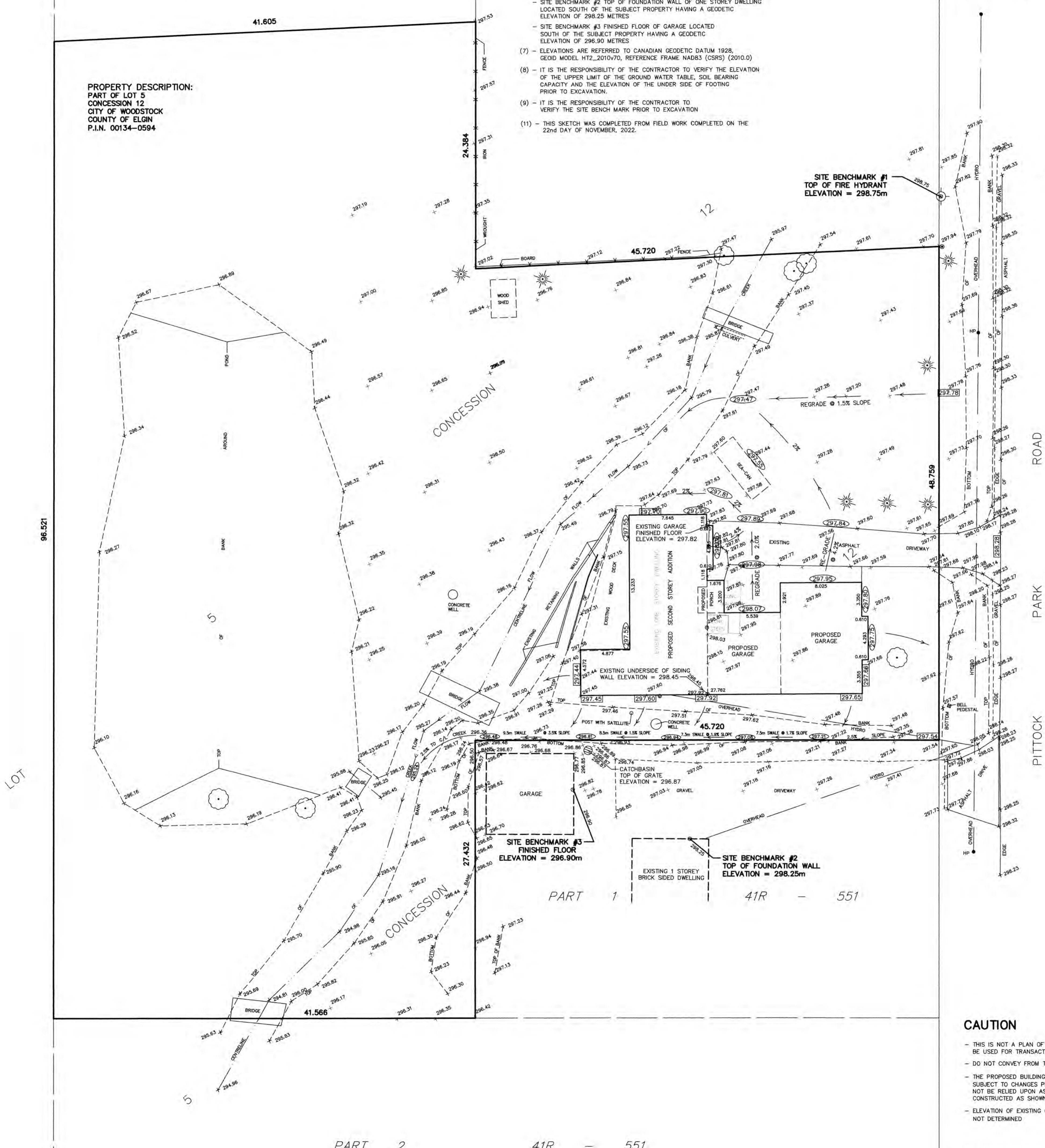
- (1) - PROPERTY DIMENSIONS ARE AS SHOWN ON SURVEYOR'S REAL PROPERTY REPORT COMPLETED BY NA GEOMATICS LTD. FILE 21-7158 DATED MAY 4, 2022
- (2) - PROPOSED ADDITION POSITIONED BY CALCULATIONS, NOT BY
- (3) - PROPOSED FINAL GRADES ARE SHOWN (298.00) AND ARE IN METRES
- EXISTING GRADES TO MATCH ARE SHOWN (298.00) AND ARE IN METRES
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - SITE BENCHMARK #1 TOP OF FIRE HYDRANT LOCATED NORTH OF THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 298.75 METRES
- SITE BENCHMARK #2 TOP OF FOUNDATION WALL OF ONE STOREY DWELLING LOCATED SOUTH OF THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 298.25 METRES
- SITE BENCHMARK #3 FINISHED FLOOR OF GARAGE LOCATED SOUTH OF THE SUBJECT PROPERTY HAVING A GEODETIC ELEVATION OF 296.90 METRES
- (7) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM 1928, GEOD MODEL HT2_2010/70, REFERENCE FRAME NAD83 (CSRS) (2010.0)
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (11) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 22nd DAY OF NOVEMBER, 2022.

**SITE PLAN
PREPARED FOR BUILDING PERMIT
AND LOT GRADING
FOR: EVEREST ESTATE HOMES**

SCALE 1:200
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LOT 5 CONCESSION 12

PROPERTY DESCRIPTION:
PART OF LOT 5
CONCESSION 12
CITY OF WOODSTOCK
COUNTY OF ELGIN
P.I.N. 00134-0594



CAUTION

- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES
- DO NOT CONVEY FROM THIS PLAN
- THE PROPOSED BUILDING AND ITS LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE DWELLING WAS ACTUALLY CONSTRUCTED AS SHOWN.
- ELEVATION OF EXISTING GROUND WATER TABLE AND SOIL CONDITIONS NOT DETERMINED

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ONTARIO LAND SURVEYOR
30 HARVEY STREET, TILLSBURG ONTARIO, N4G 3J8
PHONE: 519-842-3638 FAX: 519-842-3639

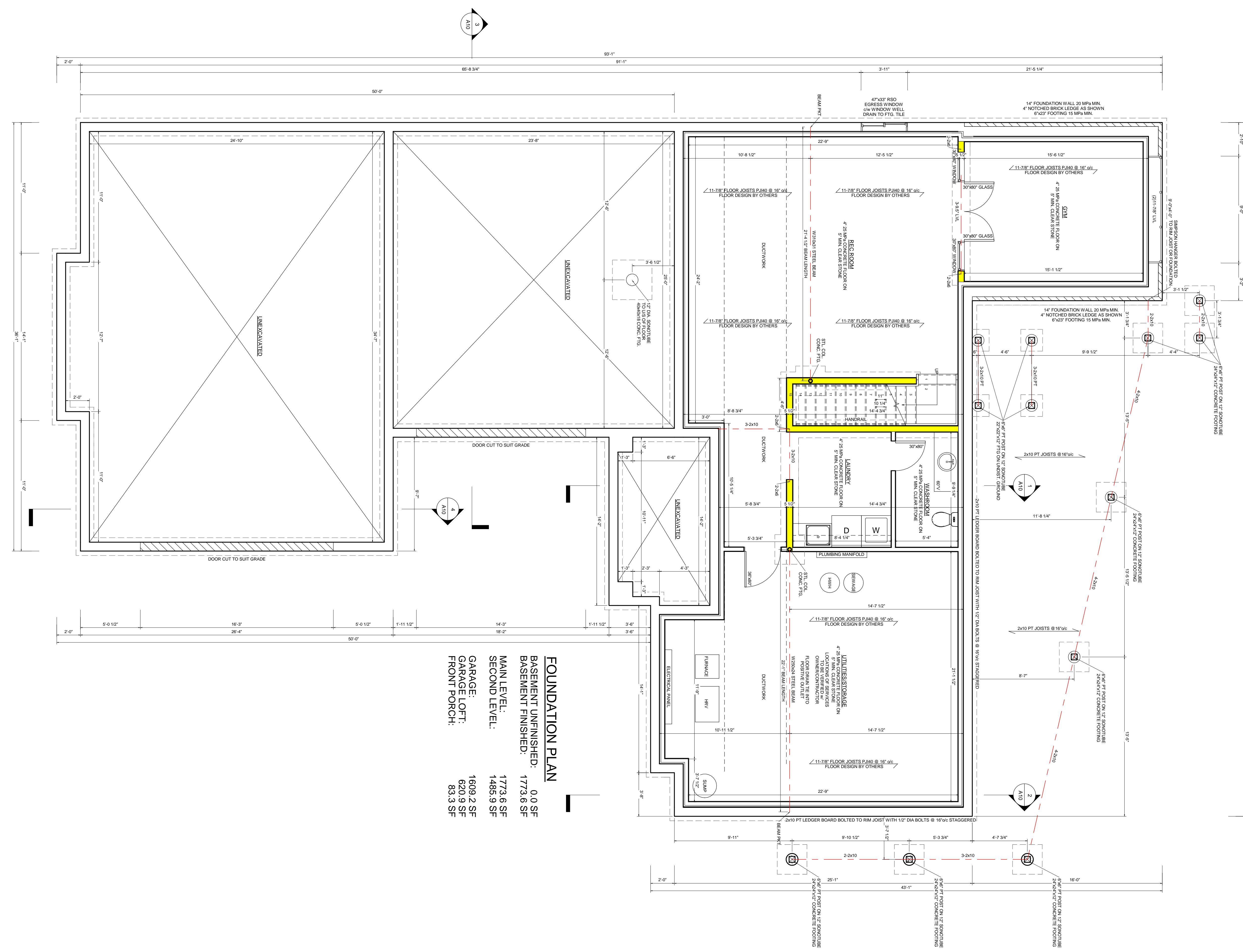
PROJECT: 22-18343SP EVEREST ESTATE HOMES REF: DWG. RDH FILE: CKD. KSH



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

THESE DRAWINGS ARE THE PROPERTY OF HAMM DESIGN AND DRAFTING SERVICE AND KB DESIGN AS PART OF EVEREST ESTATE HOMES



FOUNDATION PLAN

BASEMENT UNFINISHED: 0.0 SF
 BASEMENT FINISHED: 1773.6 SF

MAIN LEVEL: 1773.6 SF
 SECOND LEVEL: 1485.9 SF

GARAGE: 1609.2 SF
 GARAGE LOFT: 620.9 SF
 FRONT PORCH: 83.3 SF

DESIGN LOADS

GROUND SNOW LOAD
 2.0kPa (WIND): 2.0 kPa (0.35psf)

ROOF DEAD LOAD
 0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
 1.50 - 0.44kPa (0.19psf), 110 FOR DEFLECTION - 0.3APa (7.10psf)

MIN. SOIL BEARING CAPACITY - 75 kPa

S.P.F. #1&2 LINTELS UP TO 2.0KPa - ROOF/CEILING/1 STORY

ALL HEADERS TO BE 2x10 UNLESS OTHERWISE NOTED

NO. STRUCT. SHEATHING	STRUCT. SHEATHING
(2) 24 - 2x11"	(2) 24 - 3x4"
(2) 24 - 4x2"	(2) 24 - 4x4"
(2) 24 - 5x1"	(2) 24 - 5x10"
(2) 2x10 - 6x2"	(2) 2x10 - 7x1 1/2"
(2) 2x12 - 7x12"	(2) 2x12 - 8x1"

STEEL LINTELS: UP TO 90mm BRICK

UP TO 2.47m (8'-1") - 89#9x6.4mm
 UP TO 2.66m (8'-9") - 102#9x6.4mm
 UP TO 3.31m (10'-10") - 127#9x7.3mm

STEEL LINTELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 102#9x6.4mm
 UP TO 3.77m (12'-4") - 152#9x13mm

S.P.F. #1&2 ROOF RAFTERS UP TO 2.0KPa - MAXIMUM SPANS

12" OC	16" OC	24" OC
24	8'-1"	7'-4"
24	12'-9"	11'-7"
24	16'-9"	15'-2"
210	21'-4.5"	19'-1"
212	25'-7"	22'-2"
212	25'-7"	18'-1"

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION BEARING WALLS OF BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TABLE A-34.35 (0.23 TO 7.72)

INTER-CONNECTED SMOKE & CO. DETECTOR INSTALL AS PER MANUFACTURERS SPECIFICATIONS W/ STROBE

ALL SMOKE & CO. DETECTORS MUST BE PROVIDED WITH A BATTERY BACKUP THAT IS APABLE OF SUPPLYING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IF) (SECTION 3.1.2.1.1)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH AUE < 20%

COMPLIANCE PACKAGE AS (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.
 CEILING WITHOUT ATTIC SPACE - R31 MIN.
 EXPOSED FLOOR - R13 MIN.
 WALLS ABOVE GRADE - R19 MIN., R5 C1
 BASEMENT WALLS - R12 + R5 C1 MIN. (SEE R5 C1)
 EDGE BELOW GRADE SLAB - 5" 2" BELOW GRADE - R10 MIN.
 HEATED SLAB OR SLAB 5" 2" BELOW GRADE - R10 MIN.
 WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25
 SKYLIGHTS MAX. U-0.49
 SPACE HEATING EQUIPMENT MIN. FUE - 94%
 HRV MIN. EFFICIENCY 70%
 D.H.W. HEATER MIN. EFF. - 68%

GROSS WALL AREA - 3801.0 SQ. FT.
 GROSS WINDOW, GLASS AREA ETC. - 645.0 SQ. FT.
 RATIO - 16.9%

PROVIDE SOLID FLOORING IN WALLS BESIDE & BEHIND TOILET, TUB & SHOWER FOR FUTURE GRAB BARS

T. HAMM DESIGN AND DRAFTING SERVICE
 BCIN# 45374

TRAVIS HAMM
 BCIN# 23275

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building Code. I am qualified and the firm is registered in the appropriate classes/categories.

T. Hamm Design & Drafting Service
 Residential and Small Building Design
 21 HWY 24 E.
 St. Williams, ON
 N0E1P0
 Tel: 519-886-3440
 Email: t.hamm@tdsdesign.com

FOUNDATION PLAN

MYERS REBUILD

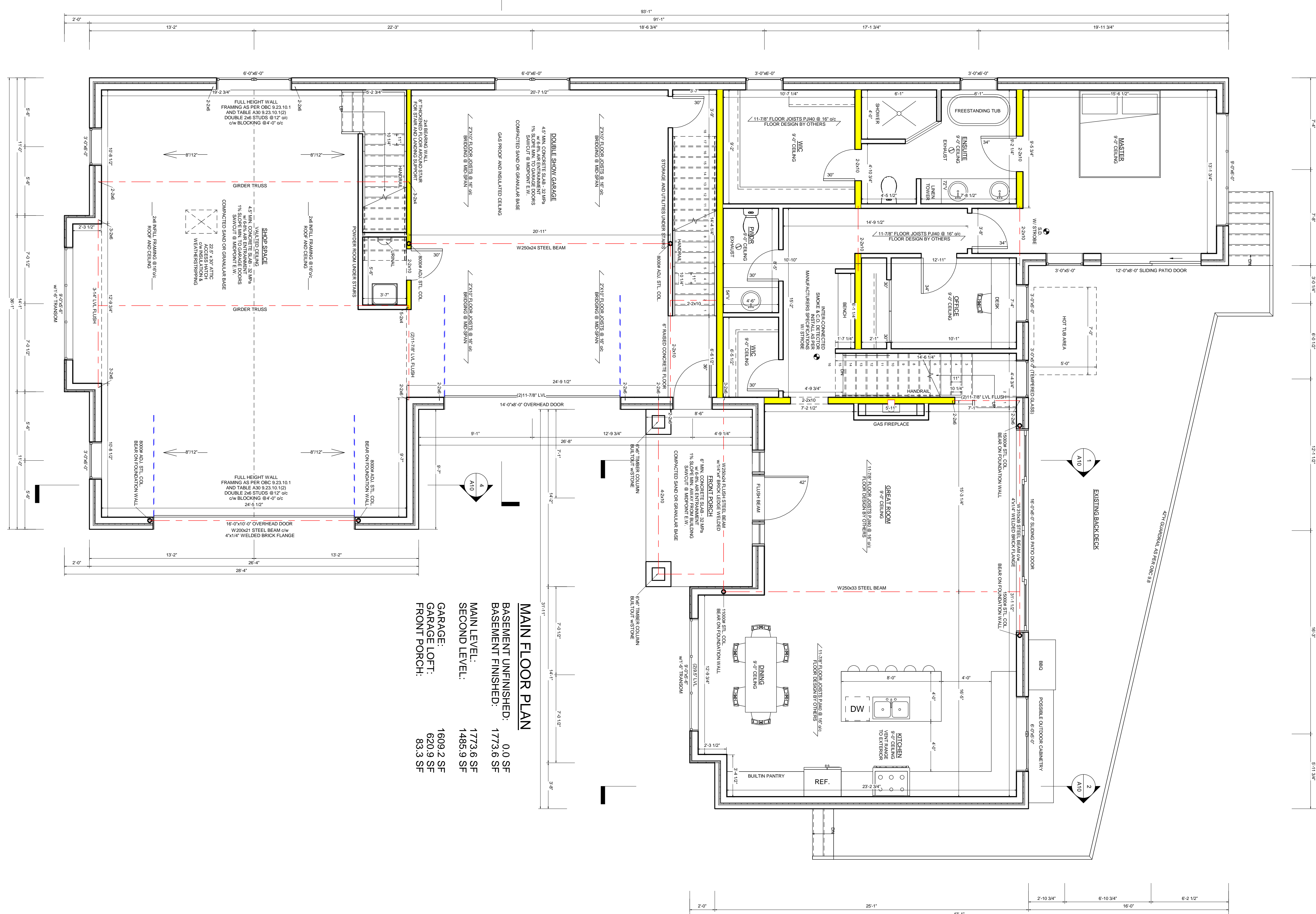
290 PITTOCK PARK RD., WOODSTOCK, ON

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:49:56 AM

1/4" = 1'-0" **A1**



MAIN FLOOR PLAN

BASEMENT UNFINISHED:	0.0 SF
BASEMENT FINISHED:	1773.6 SF
MAIN LEVEL:	1773.6 SF
SECOND LEVEL:	1485.9 SF
GARAGE:	1609.2 SF
GARAGE LOFT:	620.9 SF
FRONT PORCH:	83.3 SF

DESIGN LOADS

GROUND SNOW LOAD
2.0kPa (0.40 psf) @ 5.0m (16.41 ft) (S)

ROOF DEAD LOAD
0.53 kPa (11.07 psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
1.50 - 0.44kPa (3.16 psf), 11% FOR DEFLECTION - 0.34kPa (7.10 psf)

MIN. SOIL BEARING CAPACITY - 75 kPa

S.P.F. #1&2 LITELS UP TO 2.0KPA - ROOF/CEILING/1 STORY

ALL HEADERS TO BE 2x8 UNLESS OTHERWISE NOTED

NO. STUDS	SPACING	NO. STUDS	SPACING
(2) 2x4	2'-11"	(2) 2x4	3'-4"
(2) 2x6	4'-2"	(2) 2x6	4'-9"
(2) 2x6	5'-1"	(2) 2x6	5'-10"
(2) 2x10	6'-2"	(2) 2x10	7'-1 1/2"
(2) 2x12	7'-10"	(2) 2x12	8'-1"

STEEL LITELS: UP TO 90mm BRICK

UP TO 2.47m (8'-1") - 89#9@6.4m
UP TO 2.66m (8'-9") - 102#9@6.4m
UP TO 3.31m (10'-10") - 127#9@7.3m

STEEL LITELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 102#9@6.4m
UP TO 3.77m (12'-4") - 152#9@3.3m

S.P.F. #1&2 ROOF RAFTERS UP TO 2.0KPA - MAXIMUM SPANS

NO.	12" OC	16" OC	24" OC
24	6'-1"	7'-4"	6'-0"
26	12'-9"	11'-7"	10'-1"
28	16'-9"	15'-2 1/2"	12'-9"
210	21'-4 1/2"	19'-1"	15'-7"
212	25'-7"	22'-2"	18'-1"

ALL LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION BEARING WALLS OF BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TABLE A-34.35 (S.23.10.7.2)

INTER-CONNECTED SMOKE & C.O. DETECTOR INSTALL AS PER MANUFACTURERS SPECIFICATIONS W/ STROBE

ALL SMOKE & C.O. DETECTORS MUST BE PROVIDED WITH A BATTERY BACKUP THAT IS CAPABLE OF SUPPLYING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IP) (S.23.10.7.2)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH FUELS 201

COMPLIANCE PACKAGE AS (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.
CEILING WITHOUT ATTIC SPACE - R31 MIN.
EXPOSED FLOOR - R13 MIN.
WALLS ABOVE GRADE - R19 MIN., R5 C1
BASEMENT WALLS - R13 + 1 C1 MIN. (OR R5 C1)
EDGE BELOW GRADE SLAB - 5" 2" BELOW GRADE - R10 MIN.
HEATED SLAB OR SLAB 5" 2" BELOW GRADE - R10 MIN.
WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25
SKYLIGHTS MAX. U-0.49
SPACE HEATING EQUIPMENT MIN. FUE - 94%
HRV MIN. EFFICIENCY 70%
D.H.W. HEATER MIN. ER - 13.0

GROSS WALL AREA - 3801.0 SQ. FT.
GROSS WINDOWS, GLASS AREA ETC. - 645.0 SQ. FT.
RATIO - 16.9%

PROVIDE SOLID BLOCKING IN WALLS BESIDE & BEHIND TOLLIT, TUB & SHOWER FOR FUTURE GRAB BARS

ELECTRICAL OUTLET FOR ELECTRIC VEHICLE AS PER 2012 OBC 3.34.4. PROVIDE 200 AMP PANEL INSTALL 4.75" ELECTRICAL BOX INSTALLED IN GARAGE, CLOSET, OR ADJACENT DRIVEWAY
PROVIDE 1" CONDUIT TO BOX WITH MEANS TO PULL CABLE THROUGH IT TO PROVIDE FUTURE HOOKUP

T. HAMM DESIGN AND DRAFTING SERVICE
BCINC 45374

TRAVIS HAMM
BCINC 23275

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T. Hamm Design & Drafting Service
Residential and Small Building Design
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Tel: 519-886-3440
Email: t.hamm@tdesign.com

MAIN FLOOR PLAN

MYERS REBUILD

290 PITTOCK PARK RD., WOODSTOCK, ON

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:49:58 AM

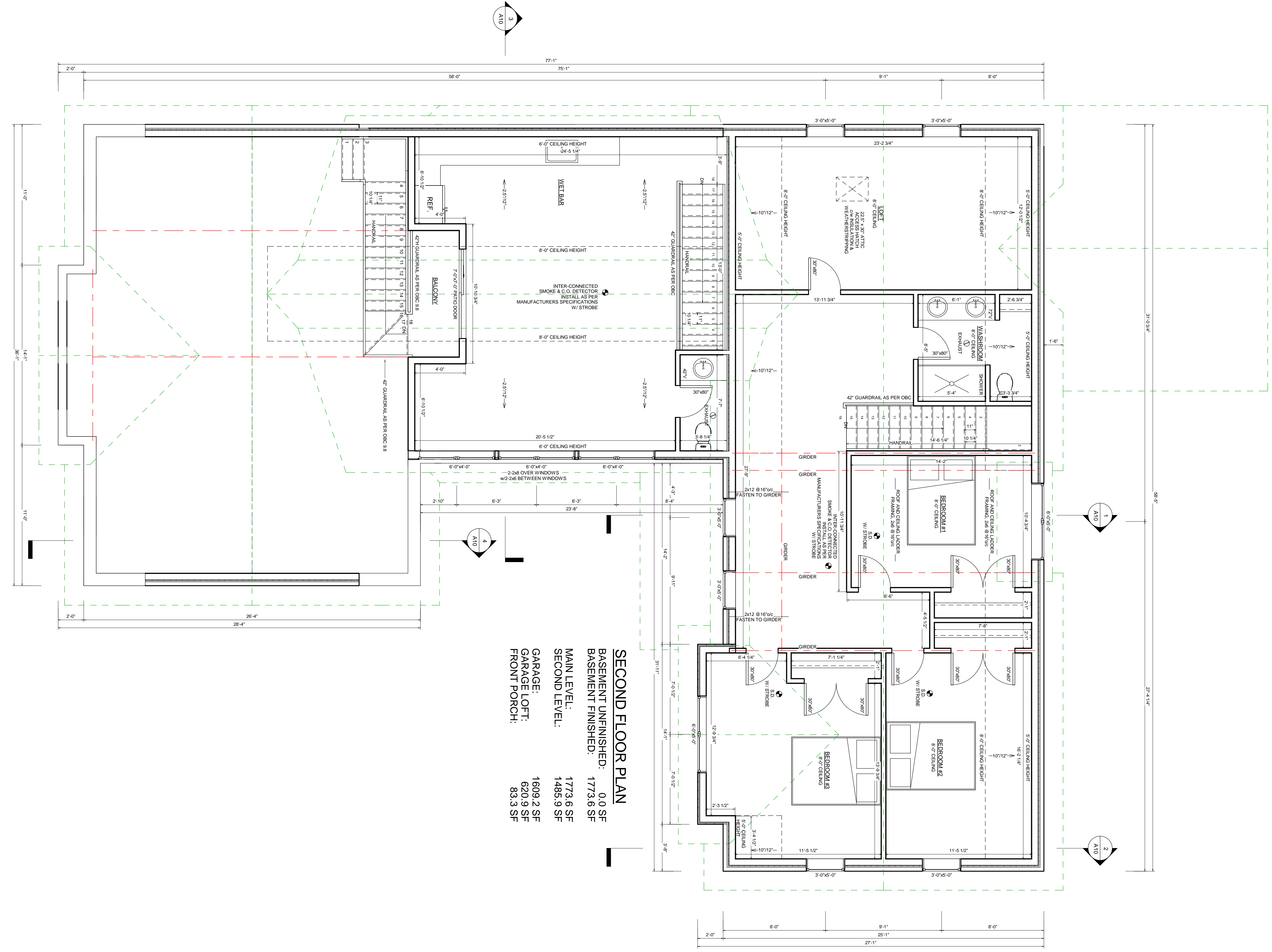
1/4" = 1'-0" **A2**



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

THESE DRAWINGS ARE THE PROPERTY OF HAMM DESIGN AND DRAFTING SERVICE AND KB DESIGN AS PART OF EVEREST ESTATE HOMES



SECOND FLOOR PLAN

BASEMENT UNFINISHED: 0.0 SF
 BASEMENT FINISHED: 1773.6 SF

MAIN LEVEL: 1773.6 SF
 SECOND LEVEL: 1485.9 SF

GARAGE: 1609.2 SF
 GARAGE LOFT: 620.9 SF
 FRONT PORCH: 83.3 SF

DESIGN LOADS

GROUND SNOW LOAD
 2.0kPa (WIND) 0.6kPa (S 25psf)

ROOF DEAD LOAD
 0.53 kPa (11.0psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
 1.50 - 0.44kPa (3.1psf), 11% FOR DEFLECTION - 0.34kPa (7.1psf)

MIN. SOIL BEARING CAPACITY - 75 kPa

S.P.F. #1&2 LINTELS UP TO 2.0KPA - ROOF/CEILING/1 STORY

ALL HEADERS TO BE 2x10 UNLESS OTHERWISE NOTED

TRUSS SIZINGS

TRUSS SIZINGS	TRUSS SIZINGS
(2) 2x4 - 2'11"	(2) 2x4 - 3'-4"
(2) 2x6 - 4'-2"	(2) 2x6 - 4'-9"
(2) 2x6 - 5'-1"	(2) 2x6 - 5'-10"
(2) 2x10 - 6'-2"	(2) 2x10 - 7'-1 1/2"
(2) 2x12 - 7'-12"	(2) 2x12 - 8'-1"

STEEL LINTELS: UP TO 50mm BRICK

UP TO 2.47m (8'-1") - 89d9d6.4mm
 UP TO 2.66m (8'-9") - 102d9d6.4mm
 UP TO 3.31m (10'-10") - 127d9d7.9mm

STEEL LINTELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 102d9d6.4mm
 UP TO 3.77m (12'-4") - 152d9d13mm

S.P.F. #1&2 ROOF RAFTERS UP TO 2.0KPA - MAXIMUM SPANS

1" o.c.	16" o.c.	24" o.c.
2x4	6'-1"	7'-4"
2x6	12'-9"	11'-7"
2x8	16'-9"	15'-2 1/2"
2x10	21'-4 1/2"	19'-1"
2x12	25'-7"	22'-2"

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION. BEARING WALLS OF BEAMS AND FOOTINGS BELOW BEARING STUDS AS PER TITLE A-34.35 (9.23.10.7.2)

INTER-CONNECTED SMOKE & C.O. DETECTOR INSTALL AS PER MANUFACTURERS SPECIFICATIONS W/ STROBE

ALL SMOKE & C.O. DETECTORS MUST BE PROVIDED WITH A BATTERY BACKUP THAT IS SPARE OF SLIPPING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IP) (BENCHMARKS 2.1.1.2.1)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH AUE < 20%

COMPLIANCE PACKAGE AS (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.
 CEILING WITHOUT ATTIC SPACE - R31 MIN.
 EXPOSED FLOOR - R13 MIN.
 WALLS ABOVE GRADE - R19 MIN., R5 C1
 WALLS BELOW GRADE - R12 + R5 C1 MIN. (R5 C1)
 EDGE BELOW GRADE SLAB - 5" 2" BELOW GRADE - R10 MIN.
 HEATED SLAB OR SLAB 3" 2" BELOW GRADE - R10 MIN.
 WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25 SKYLIGHTS MAX. U-0.49
 SPACE HEATING EQUIPMENT MIN. AUE - 94%
 HRV MIN. EFFICIENCY 70%
 D.H.W. HEATER MIN. EF - 0.80

GROSS WALL AREA - 3801.0 SQ. FT.
 GROSS WINDOWS, GLASS AREA ETC. - 645.0 SQ. FT.
 RATIO - 16.9%

PROVIDE SOLID BLOCKING IN WALLS BESIDE & BEHIND TOILET, TUB & SHOWER FOR FUTURE GRAB BARS

ELECTRICAL OUTLET FOR ELECTRIC VEHICLE AS PER 2012 OBC 9.34.4 - PROVIDE 200 AMP PANEL INSTALL 4.75 SF ELECTRICAL BOX INSTALLED IN GARAGE, CARRIAGE OR ADJACENT DRIVEWAY
 PROVIDE 1" CONDUIT TO BOX WITH MEANS TO PULL CABLE THROUGH IT TO PROVIDE FUTURE HOOKUP

T. HAMM DESIGN AND DRAFTING SERVICE
 BCINC 45374

TRAVIS HAMM
 BCINC 23275

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T. Hamm Design & Drafting Service
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 N0E1P0
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 Email: t.h.drafting@hotmail.com

SECOND FLOOR PLAN

MYERS REBUILD

290 PITTOCK PARK RD., WOODSTOCK, ON

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:49:59 AM

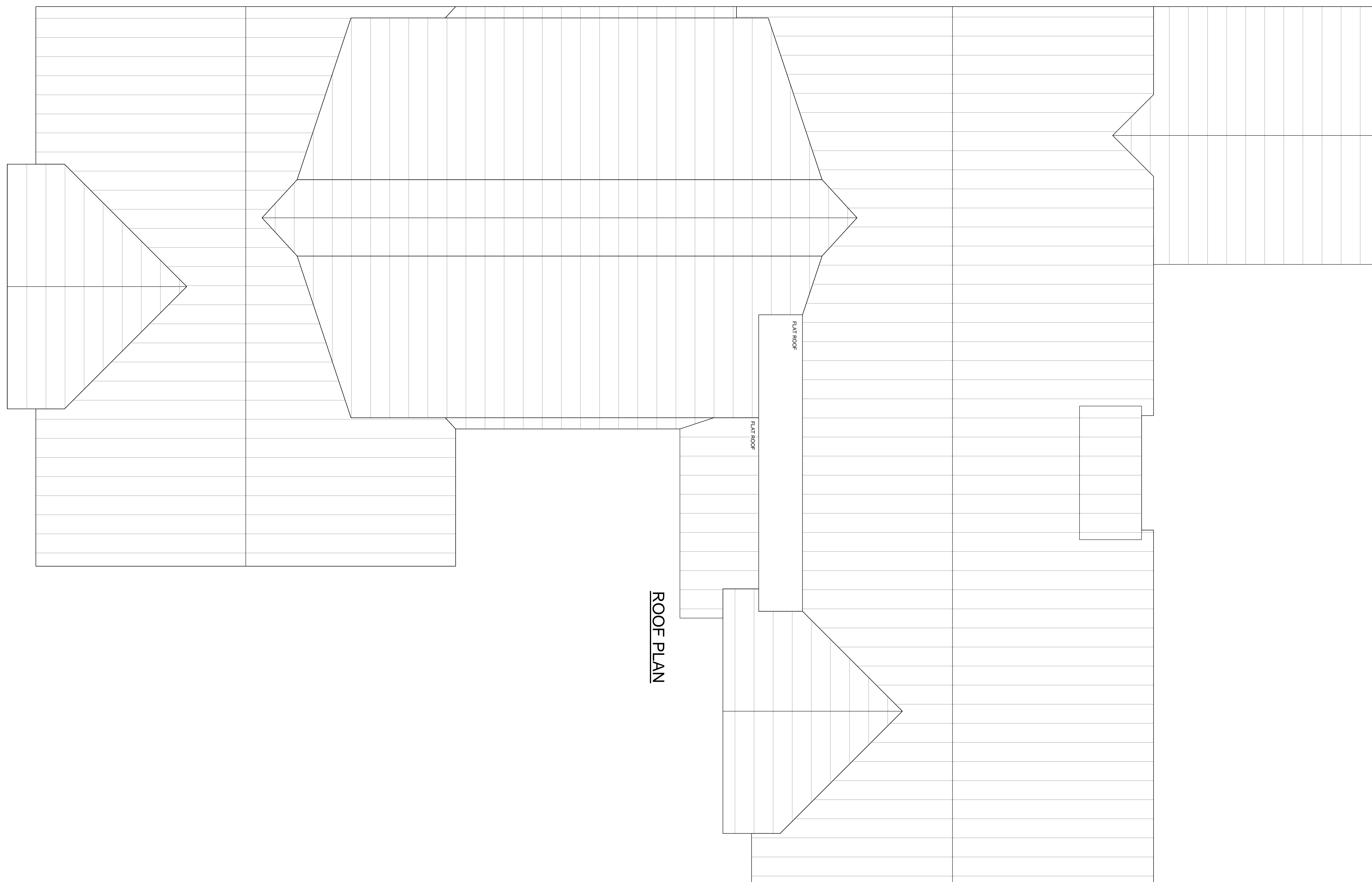
1/4" = 1'-0" **A3**



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

THESE DRAWINGS ARE THE PROPERTY OF
HAMM DESIGN AND DRAFTING SERVICE
AND KB DESIGN AS PART OF EVEREST ESTATE HOMES



DESIGN LOADS

GROUND SNOW LOAD
2.0kPa (NAVD); 0.43kPa (BS 5699)

ROOF DEAD LOAD
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
1.50 - 0.44kPa (3.19psf), 11% FOR DEFLECTION - 0.34kPa (7.10psf)

MIN. SOIL BEARING CAPACITY - .75 kPa

S.P.F. #1&2 LINTELS UP TO 2.0KPA - ROOF/CEILING/1 STORY

ALL HEADERS TO BE 2" MIN. UNLESS OTHERWISE NOTED

NO. STRUCT. SHEATHING	STRUCT. SHEATHING
(2) 2x4 - 2-11"	(2) 2x4 - 3-4"
(2) 2x6 - 4-2"	(2) 2x6 - 4-9"
(2) 2x6 - 5-1"	(2) 2x6 - 5-10"
(2) 2x10 - 6-2"	(2) 2x10 - 7-1 1/2"
(2) 2x12 - 7-1/2"	(2) 2x12 - 8-1"

STEEL LINTELS: UP TO 90mm BRICK

UP TO 2.47m (8'-1") - 89#9x6.4mm
UP TO 2.66m (8'-9") - 102#9x6.4mm
UP TO 3.31m (10'-10") - 127#89x7.9mm

STEEL LINTELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 102#9x6.4mm
UP TO 3.77m (12'-4") - 152#89x13mm

S.P.F. #1&2 ROOF RAFTERS UP TO 2.0KPA - MAXIMUM SPANS

	12' o/c	16' o/c	24' o/c
2x4	8'-1"	7'-4"	6'-0"
2x6	12'-0"	11'-7"	10'-1"
2x8	16'-0"	15'-2.5"	12'-0"
2x10	21'-4.5"	19'-1"	15'-7"
2x12	25'-7"	22'-2"	18'-1"

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION. BEARING WALLS OF BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TABLE A-34.35 (9.23.10.7/2)

INTER-CONNECTED SMOKE & C.O. DETECTOR
INSTALL AS PER MANUFACTURERS SPECIFICATIONS W/ STROBE

ALL SMOKE & C.O. DETECTORS MUST BE PROVIDED WITH A BATTERY BACKUP THAT IS CAPABLE OF SUPPLYING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12:

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IP) (SECTION 2.1.1.2.1)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH RULE 5.2%

COMPLIANCE PACKAGE AS (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.
CEILING WITHOUT ATTIC SPACE - R31 MIN.
EXPOSED FLOOR - R25 MIN.
WALLS ABOVE GRADE - R19 MIN., R5 C1
WALLS BELOW GRADE - R12 + 5 C1 MIN. (SEE R5 C1)
EDGE BELOW GRADE SLAB - 5 3/4" BELOW GRADE - R10 MIN.
HEATED SLAB OR SLAB 5 3/4" BELOW GRADE - R10 MIN.

WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25
SKYLIGHTS MAX. U-0.49
SPACE HEATING EQUIPMENT MIN. AFUE - 94%
HRV MIN. EFFICIENCY 70%
D.H.W. HEATER MIN. EF - 0.80

GROSS WALL AREA - 3801.0 SQ. FT.
GROSS WINDOWS, GLASS AREA ETC. - 645.0 SQ. FT.
RATIO - 16.9%

PROVIDE SOLID BLOCKING IN WALLS BESIDE & BEHIND TOILET, TUB & SHOWER FOR FUTURE GRAB BARS

ELECTRICAL OUTLET FOR ELECTRIC VEHICLE AS PER 2012 OBC 9.34.4. PROVIDE 200 AMP PANEL INSTALL 475 SF ELECTRICAL BOX INSTALLED IN GARAGE, CARPORT, OR ADJACENT DRIVEWAY
PROVIDE 1" CONDUIT TO BOX WITH MEANS TO PULL CABLE THROUGH IT TO PROVIDE FUTURE HOOKUP

T. HAMM DESIGN AND DRAFTING SERVICE
BCIN# 45374

TRAVIS HAMM
BCIN# 23275

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N0E1P0
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Email: tr.drafting@hotmail.com

ROOF PLAN

MYERS REBUILD

**290 PITTOCK PARK RD.,
WOODSTOCK, ON**

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:49:59 AM

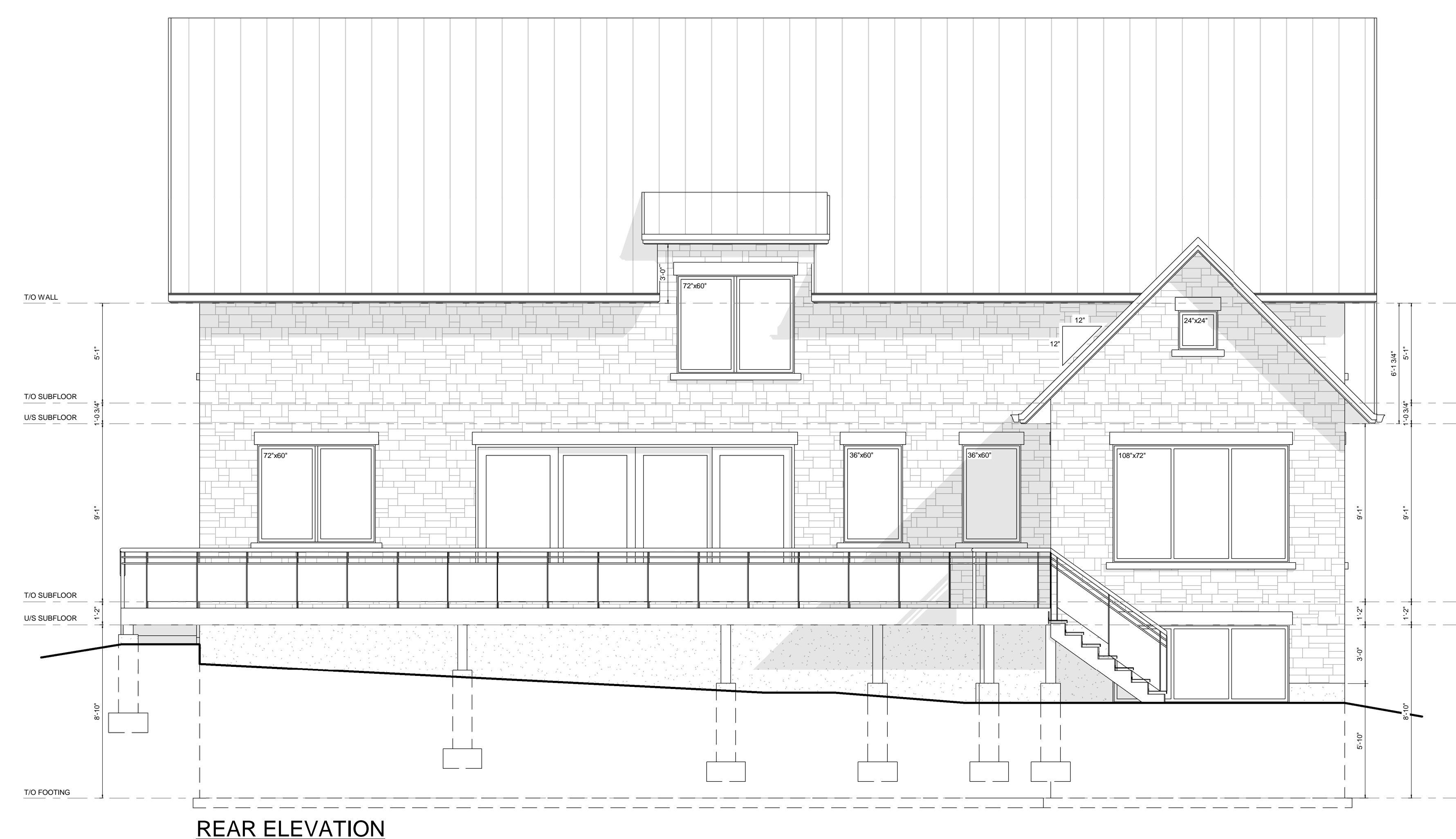
1/4" = 1'-0" **A4**



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THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

THESE DRAWINGS ARE THE PROPERTY OF T. HAMM DESIGN AND DRAFTING SERVICE AND KB DESIGN AS PART OF EVEREST ESTATE HOMES



DESIGN LOADS

GROUND SNOW LOAD
2.0kPa (NAVD), 0.6 kPa (R 35psf)

ROOF DEAD LOAD
0.53 kPa (11.0psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
150 - 0.448kPa (9.1psf), 110 FOR DEFLECTION - 0.36kPa (7.10psf)

MIN. SOIL BEARING CAPACITY - .75 kPa

S.P.F. #1&2 LINTELS UP TO 2.0KPA - ROOF/CEILING/1 STORY

ALL HEADERS TO BE 2" MIN. UNLESS OTHERWISE NOTED

NO. STRUCT. SHEATHING	STRUCT. SHEATHING
(2) 24 - 2"12"	(2) 24 - 3"4"
(2) 24 - 4"2"	(2) 24 - 4"9"
(2) 24 - 5"1"	(2) 24 - 5"10"
(2) 24 - 6"2"	(2) 24 - 7"1 1/2"
(2) 24 - 7"12"	(2) 24 - 8"1"

STEEL LINTELS: UP TO 90mm BRICK

UP TO 2.47m (8'-1") - 89#9x6.4mm
UP TO 2.66m (8'-8") - 102#9x6.4mm
UP TO 3.31m (10'-10") - 127#89x7.9mm

STEEL LINTELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 102#9x6.4mm
UP TO 3.77m (12'-4") - 152#89x13mm

S.P.F. #1&2 ROOF RAFTERS UP TO 2.0KPA - MAXIMUM SPANS

	12" oc	16" oc	24" oc
24	8'-1"	7'-4"	6'-0"
26	12'-9"	11'-7"	10'-1"
28	16'-9"	15'-2 1/2"	12'-9"
210	21'-4 1/2"	19'-1"	15'-7"
212	25'-7"	22'-2"	18'-1"

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION BEARING WALLS OF BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TABLE A-34.35 (9.23.10.7(2))

INTER-CONNECTED SMOKE & CO. DETECTOR
INSTALL AS PER MANUFACTURERS SPECIFICATIONS
W/ STROBE

ALL SMOKE & CO. DETECTORS MUST BE PROVIDED WITH A BATTERY BACKUP THAT IS APABLE OF SUPPLYING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IF) (SENTENCES 3.1.1.2.1(1))

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH AUE < 32%

COMPLIANCE PACKAGE AS (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.
CEILING WITHOUT ATTIC SPACE - R31 MIN.
EXPOSED FLOOR - R13 MIN.
WALLS ABOVE GRADE - R19 MIN., R5 C1
BASEMENT WALLS - R12 + R5 MIN. (SEE R5 C1)
EDGE BELOW GRADE SLAB - 5"2" BELOW GRADE - R10 MIN.
HEATED SLAB OR SLAB 3"4" BELOW GRADE - R10 MIN.
WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25
SKYLIGHTS MAX. U-0.49
SPACE HEATING EQUIPMENT MIN. AFUE - 84%
HRV MIN. EFFICIENCY 70%
D.H.W. HEATER MIN. EF - 0.80

GROSS WALL AREA - 3801.0 SQ. FT.
GROSS WINDOWS, GLASS AREA ETC. - 645.0 SQ. FT.
RATIO - 16.9%

PROVIDE SOLID BLOCKING IN WALLS BESIDE & BEHIND TOILET, TUB & SHOWER FOR FUTURE GRAB BARS

ELECTRICAL OUTLET FOR ELECTRIC VEHICLE AS PER 2012 OBC 9.34.4. PROVIDE 200 AMP PANEL INSTALL 475 SF ELECTRICAL BOX INSTALLED IN GARAGE, CARPORT, OR ADJACENT DRIVEWAY
PROVIDE 1" CONDUIT TO BOX WITH MEANS TO PULL CABLE THROUGH IT TO PROVIDE FUTURE HOOKUP

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T. Hamm Design & Drafting Service
Residential and Small Building Design
21 HWY 24 E.
St. Williams, ON
N0E1P0
Tel: 519-886-3442
Email: tr.drafting@hotmail.com

ELEVATIONS

MYERS REBUILD

290 PITTOCK PARK RD., WOODSTOCK, ON

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:50:03 AM

1/4" = 1'-0" **A5**



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

THESE DRAWINGS ARE THE PROPERTY OF HAMM DESIGN AND DRAFTING SERVICE AND KB DESIGN AS PART OF EVEREST ESTATE HOMES



LEFT ELEVATION



RIGHT ELEVATION

DESIGN LOADS

GROUND SNOW LOAD
2.0kPa (WIND) IS 0.40kPa (IS 0.8psf)

ROOF DEAD LOAD
0.53 kPa (11.0psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
1.50 - 0.44kPa (3.1psf), 110 FOR DEFLECTION - 0.34kPa (7.10psf)

MIN. SOIL BEARING CAPACITY - 75 kPa

S.P.F. #1&2 LINTELS UP TO 2.0KPA - ROOF/CEILING/1 STORY

HEADERS TO BE 2x10 UNLESS OTHERWISE NOTED

NO. STRUCT. SHEATHING	STRUCT. SHEATHING
(2) 24 - 2x11"	(2) 24 - 3x4"
(2) 24 - 4x2"	(2) 24 - 4x4"
(2) 24 - 5x1"	(2) 24 - 5x10"
(2) 24 - 6x2"	(2) 24 - 7x12"
(2) 24 - 7x12"	(2) 24 - 8x1"

STEEL LINTELS: UP TO 50mm BRICK

UP TO 2.47m (8'-1") - 89#B96.4mm
UP TO 2.66m (8'-8") - 102#B96.4mm
UP TO 3.31m (10'-10") - 127#B97.3mm

STEEL LINTELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 102#B96.4mm
UP TO 3.77m (12'-4") - 152#B97.3mm

S.P.F. #1&2 ROOF RAFTERS UP TO 2.0KPA - MAXIMUM SPANS

	12" OC	16" OC	24" OC
24	8'-1"	7'-4"	6'-0"
26	12'-0"	11'-7"	10'-1"
28	16'-0"	15'-2.5"	12'-0"
210	21'-4.5"	19'-1"	15'-7"
212	25'-7"	22'-2"	18'-1"

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION. BEARING WALLS OF BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TABLE A-34.35 (9.23.10.7(2))

INTER-CONNECTED SMOKE & C.O. DETECTOR INSTALL AS PER MANUFACTURERS SPECIFICATIONS W/ STROBE

ALL SMOKE & C.O. DETECTORS MUST BE PROVIDED WITH A BATTERY BACKUP THAT IS SPARE OF SUPPLYING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12:

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IP) (SECTION 2.3.1.1.2)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH A U=0.25

COMPLIANCE PACKAGE AS (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.
EXPOSED FLOOR - R13 MIN.
WALLS ABOVE GRADE - R19 MIN., R5 C1
BASEMENT WALLS - R12 + R5 MIN. (OR R15 C1)
EDGE BELOW GRADE SLAB - 5" 2" BELOW GRADE - R10 MIN.
HEATED SLAB OR SLAB 3" 4" BELOW GRADE - R10 MIN.
WINDOWS AND SLIDING GLASS DOORS MAX. U=0.28, ER 25
SKYLIGHTS MAX. U=0.49
SPACE HEATING EQUIPMENT MIN. AFUE - 84%
HRV MIN. EFFICIENCY 70%
D.H.W. HEATER MIN. EF - 0.80

GROSS WALL AREA - 3801.0 SQ. FT.
GROSS WINDOWS, GLASS AREA ETC. - 645.0 SQ. FT.
RATIO - 16.9%

PROVIDE SOLID BLOCKING IN WALLS BESIDE & BEHIND TOILET, TUB & SHOWER FOR FUTURE GRAB BARS

ELECTRICAL OUTLET FOR ELECTRIC VEHICLE AS PER 2012 OBC 9.34.4. PROVIDE 200 AMP PANEL INSTALL 475 SF ELECTRICAL BOX INSTALLED IN GARAGE, CARPORT OR ADJACENT DRIVEWAY
PROVIDE 1" CONDUIT TO BOX WITH MEANS TO PULL CABLE THROUGH IT TO PROVIDE FUTURE HOOKUP

T. HAMM DESIGN AND DRAFTING SERVICE
BCIN# 45374

TRAVIS HAMM
BCIN# 23275

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C of the Building Code. I am qualified and the firm is registered in the appropriate class/categories.

T. Hamm Design & Drafting Service
Residential and Small Building Design
21 HWY 24 E.
St. Williams, ON
N0E1P0
Tel: 519-886-3440
Email: t.drafting@hotmail.com

ELEVATIONS

MYERS REBUILD

**290 PITTOCK PARK RD.,
WOODSTOCK, ON**

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:50:07 AM

1/4" = 1'-0" **A6**



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

THESE DRAWINGS ARE THE PROPERTY OF
HAMM DESIGN AND DRAFTING SERVICE
AND KB DESIGN AS PART OF EVEREST ESTATE HOMES



DESIGN LOADS

GROUND SNOW LOAD
2.0kPa (NAVD), 0.64kPa (BS 2596)

ROOF DEAD LOAD
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
150 - 0.44kPa (9.19psf), 110 FOR DEFLECTION - 0.36kPa (7.10psf)

MIN. SOIL BEARING CAPACITY - .75 kPa

S.P.F. #1&2 LINTELS UP TO 2.0KPA - ROOF/CEILING/1 STORY

ALL HEADERS TO BE 2" x 10" UNLESS OTHERWISE NOTED

NO. STRUCT. SHEATHING	STRUCT. SHEATHING
(2) 24 - 2" x 12"	(2) 24 - 3" x 4"
(2) 24 - 4" x 2"	(2) 24 - 4" x 2"
(2) 24 - 5" x 1"	(2) 24 - 5" x 10"
(2) 24 - 6" x 2"	(2) 24 - 7" x 12"
(2) 24 - 7" x 12"	(2) 24 - 8" x 1"

STEEL LINTELS: UP TO 50mm BRICK

UP TO 2.47m (8'-1") - 89#9x6.4mm
UP TO 2.66m (8'-9") - 102#8x6.4mm
UP TO 3.31m (10'-10") - 127#8x7.9mm

STEEL LINTELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 102#8x6.4mm
UP TO 3.77m (12'-4") - 152#8x13mm

S.P.F. #1&2 ROOF RAFTERS UP TO 2.0KPA - MAXIMUM SPANS

	12' o/c	16' o/c	24' o/c
24	8'-1"	7'-4"	6'-0"
26	12'-0"	11'-7"	10'-1"
28	16'-0"	15'-2.5"	12'-0"
210	21'-4.5"	19'-1"	15'-7"
212	25'-7"	22'-2"	18'-1"

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION. BEARING WALLS OF BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TABLE A-34.35 (9.23.10.7.2)

INTER-CONNECTED SMOKE & C.O. DETECTOR. INSTALL AS PER MANUFACTURERS SPECIFICATIONS W/ STROBE

ALL SMOKE & C.O. DETECTORS MUST BE PROVIDED WITH A BATTERY BACKUP THAT IS SPARE OF SLEEPING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12:

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 1.1.2.A (P) (SENTENCES 2.1.1.2.1.1)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH A U.S. 25%

COMPLIANCE PACKAGE AS (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.
CEILING WITHOUT ATTIC SPACE - R31 MIN.
EXPOSED FLOOR - R13 MIN.
WALLS ABOVE GRADE - R19 MIN., R5 C1
BASEMENT WALLS - R12 + R5 C1 MIN. (OR R15 C1)
EDGE BELOW GRADE SLAB - 5" 2" BELOW GRADE - R10 MIN.
HEATED SLAB OR SLAB 5" 2" BELOW GRADE - R10 MIN.

WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25
SKYLIGHTS MAX. U-0.49
SPACE HEATING EQUIPMENT MIN. AFUE - 94%
HRV MIN. EFFICIENCY 70%
D.H.W. HEATER MIN. EF - 0.80

GROSS WALL AREA - 3801.0 SQ. FT.
GROSS WINDOWS, GLASS AREA ETC. - 645.0 SQ. FT.
RATIO - 16.9%

PROVIDE SOLID BLOCKING IN WALLS BESIDE & BEHIND TOILET, TUB & SHOWER FOR FUTURE GRAB BARS

ELECTRICAL OUTLET FOR ELECTRIC VEHICLE AS PER 2012 OBC 9.34.4. PROVIDE 200 AMP PANEL, INSTALL 47.5" ELECTRICAL BOX INSTALLED IN GARAGE, CARPORT, OR ADJACENT DRIVEWAY

PROVIDE 1" CONDUIT TO BOX WITH MEANS TO PULL CABLE THROUGH IT TO PROVIDE FUTURE HOOKUP

T. HAMM DESIGN AND DRAFTING SERVICE

BCIN# 45374

TRAVIS HAMM

BCIN# 23275

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of the Building Code. I am qualified and the firm is registered in the appropriate classes/categories.

T. Hamm Design & Drafting Service

Residential and Small Building Design

21 HWY 24 E,
St. Williams, ON
N0E1P0

Tel: 519-886-3442
Email: tr.drafting@hotmail.com

ELEVATIONS

MYERS REBUILD

290 PITTOCK PARK RD.,
WOODSTOCK, ON

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:50:09 AM

1/4" = 1'-0"

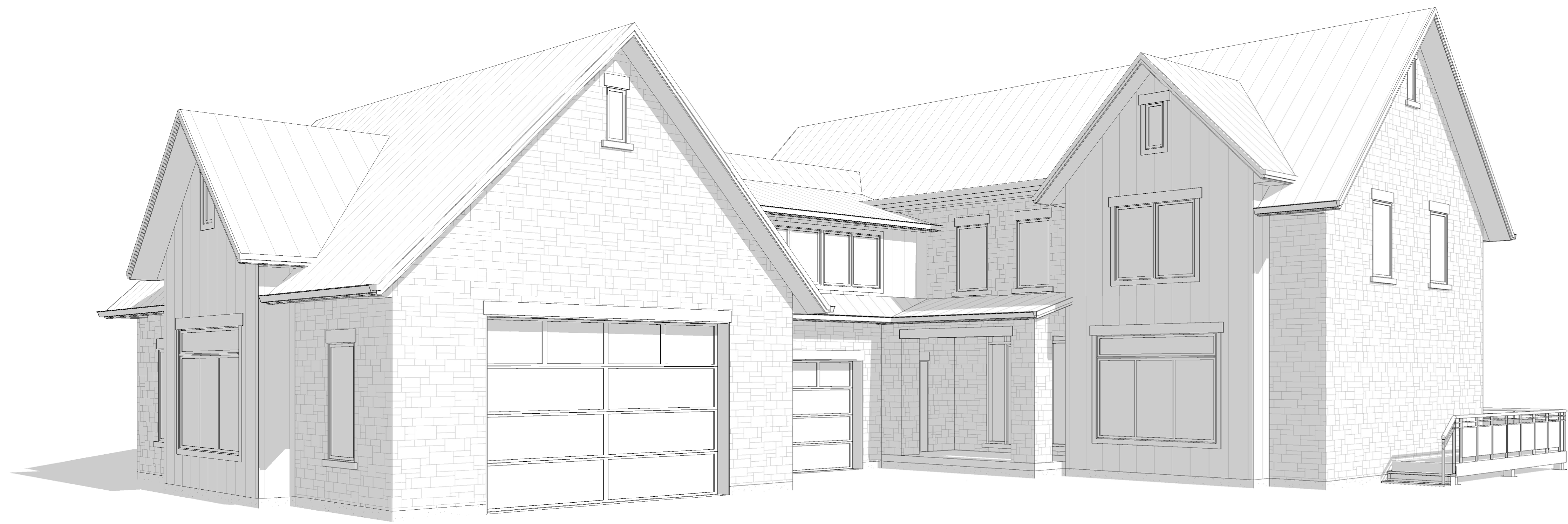
A7



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

THESE DRAWINGS ARE THE PROPERTY OF
 T. HAMM DESIGN AND DRAFTING SERVICE
 AND KB DESIGN AS PART OF EVEREST ESTATE HOMES



3D VIEWS

MYERS REBUILD

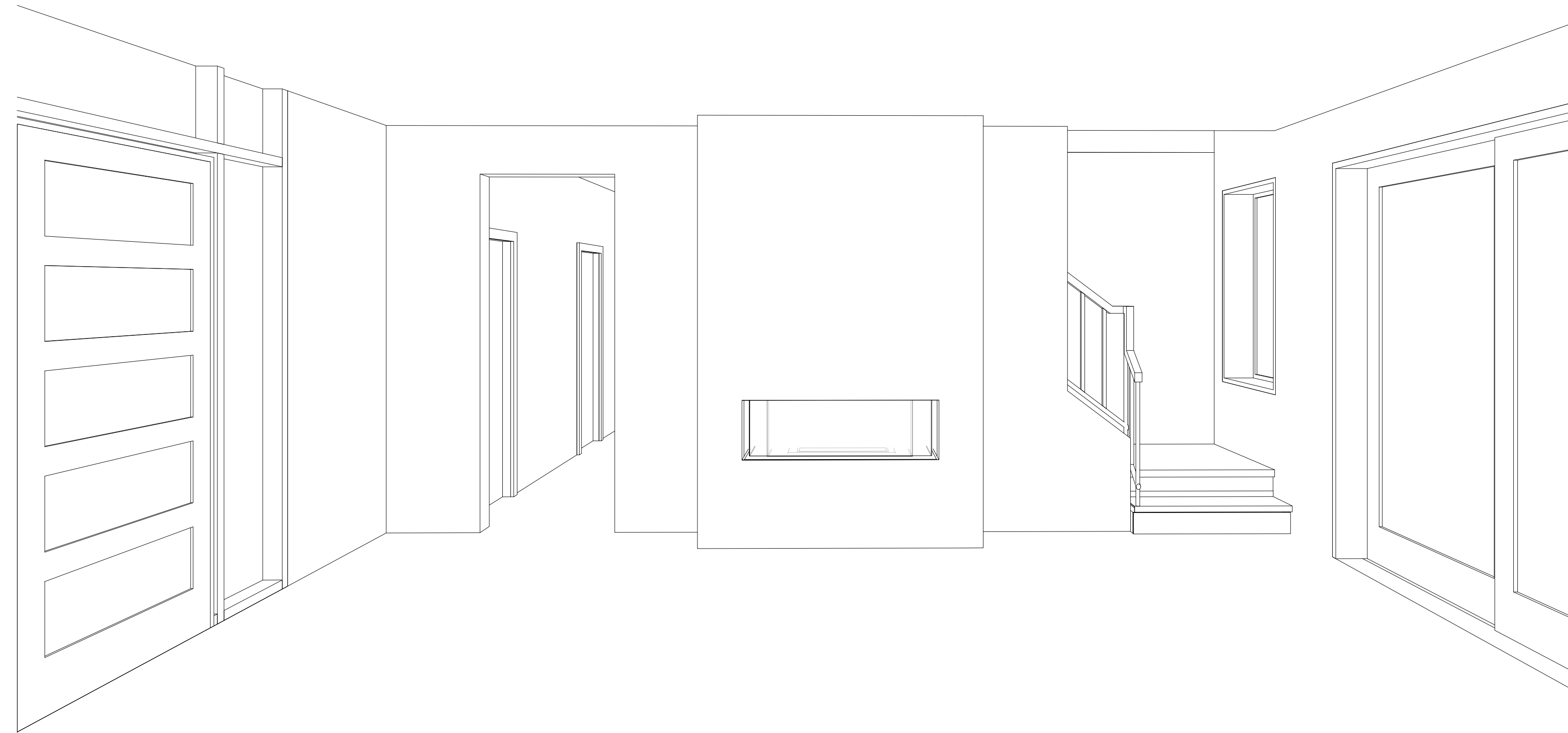
290 PITTOCK PARK RD.,
WOODSTOCK, ON

DESIGNED BY: PIETER KUIVENHOVEN

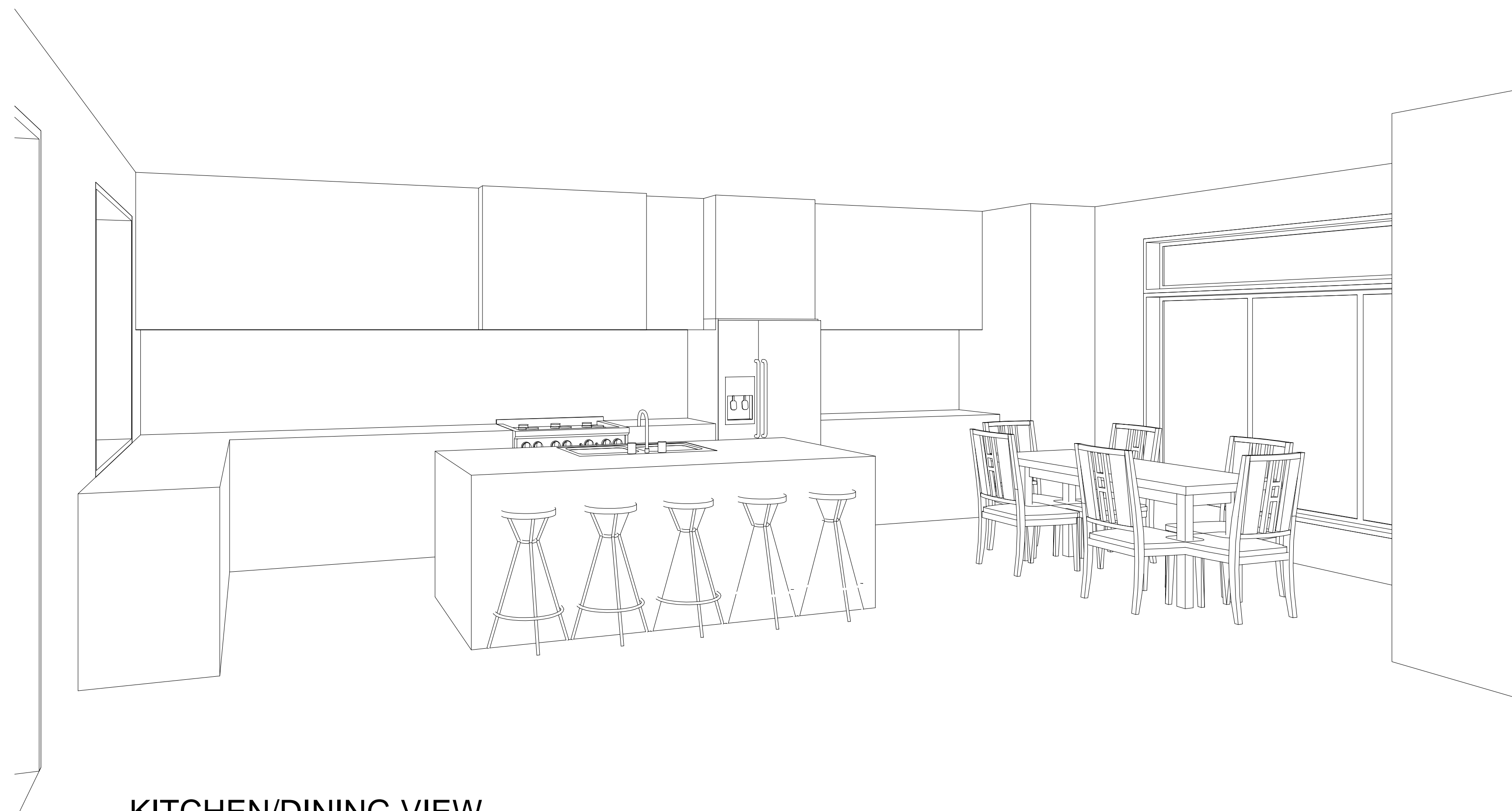
CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:50:11 AM

A8



GREAT ROOM VIEW



KITCHEN/DINING VIEW

3D VIEWS

MYERS REBUILD

290 PITTOCK PARK RD.,
WOODSTOCK, ON

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:50:12 AM

A9

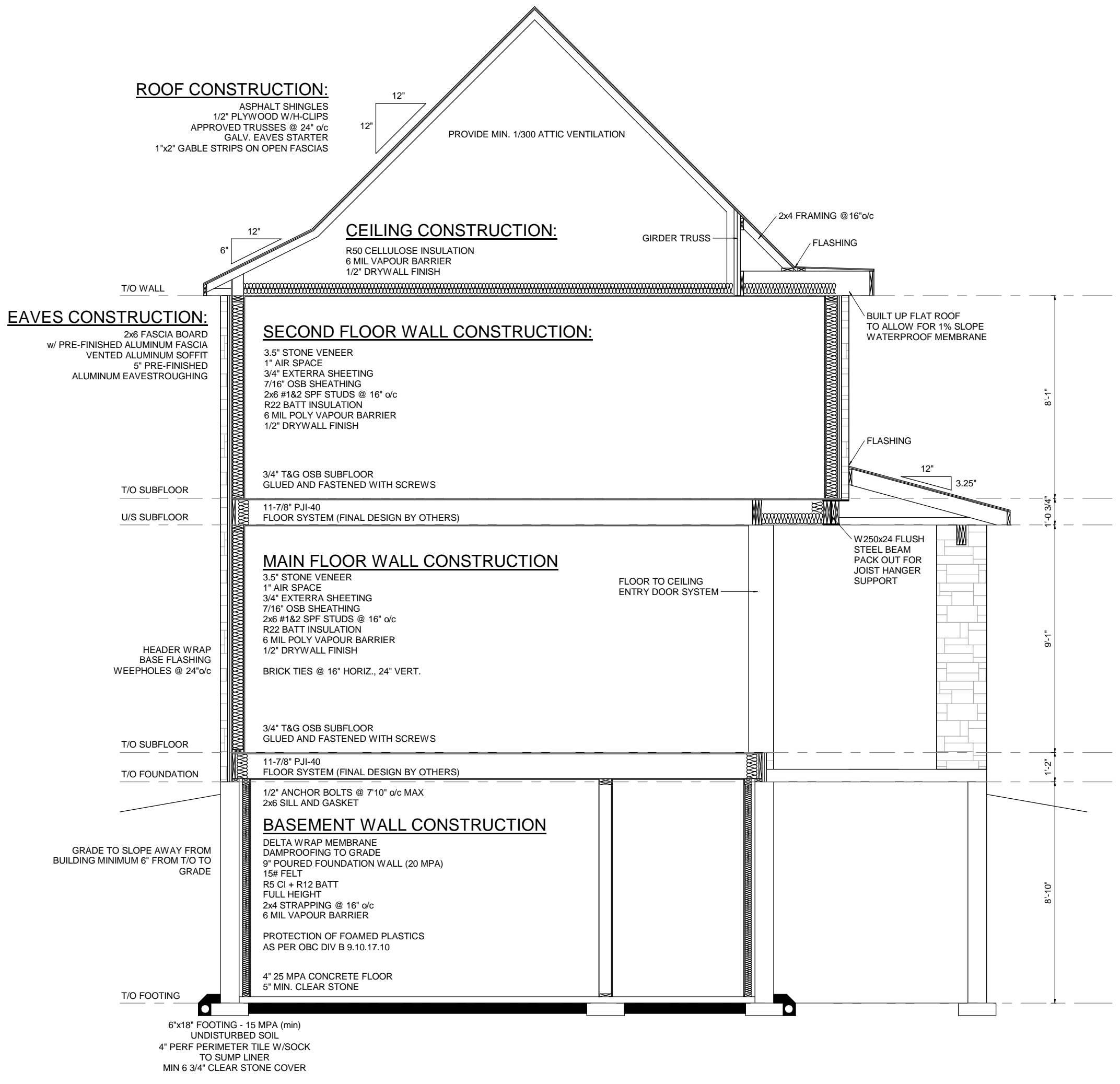


KBDesign

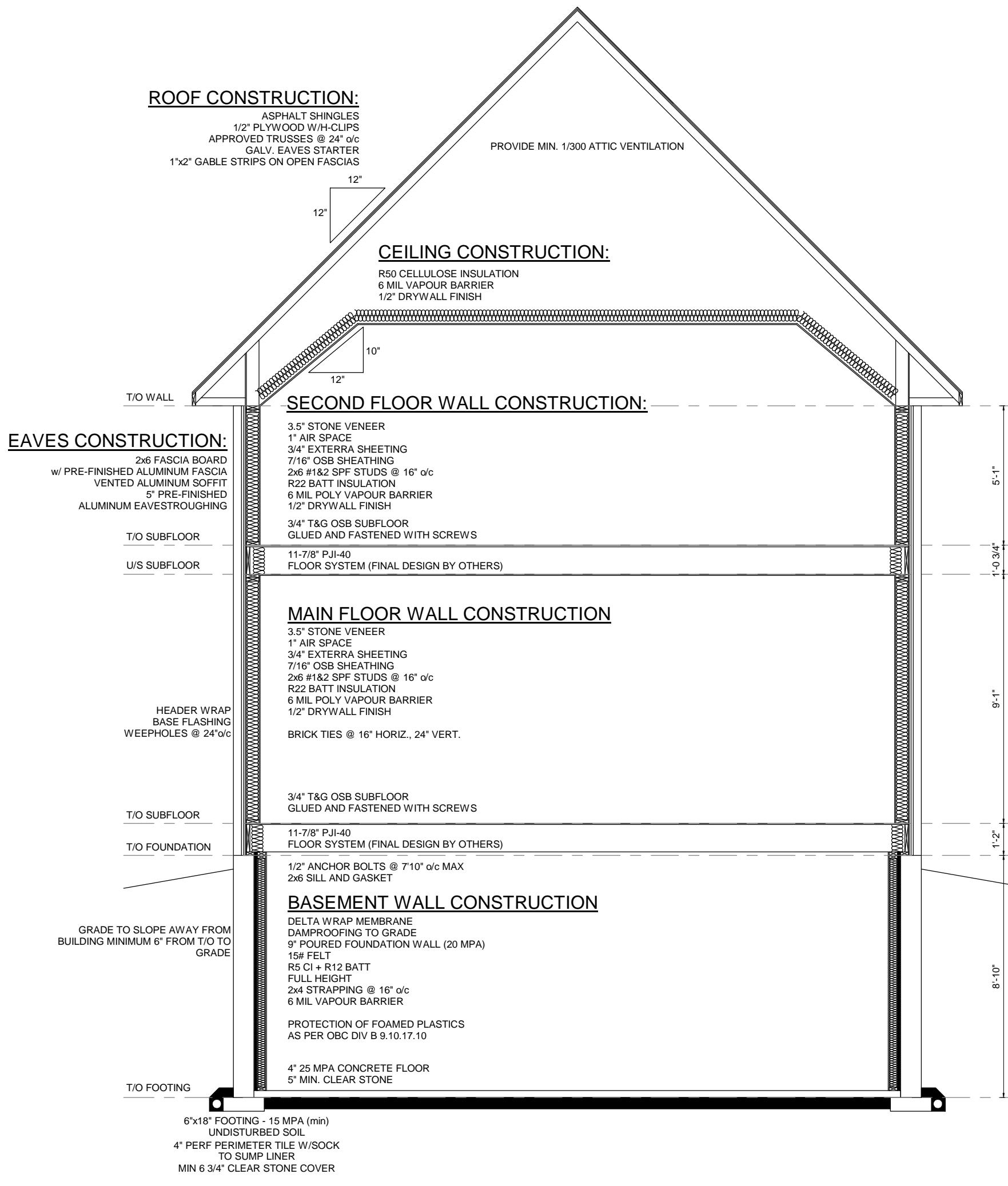
BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED

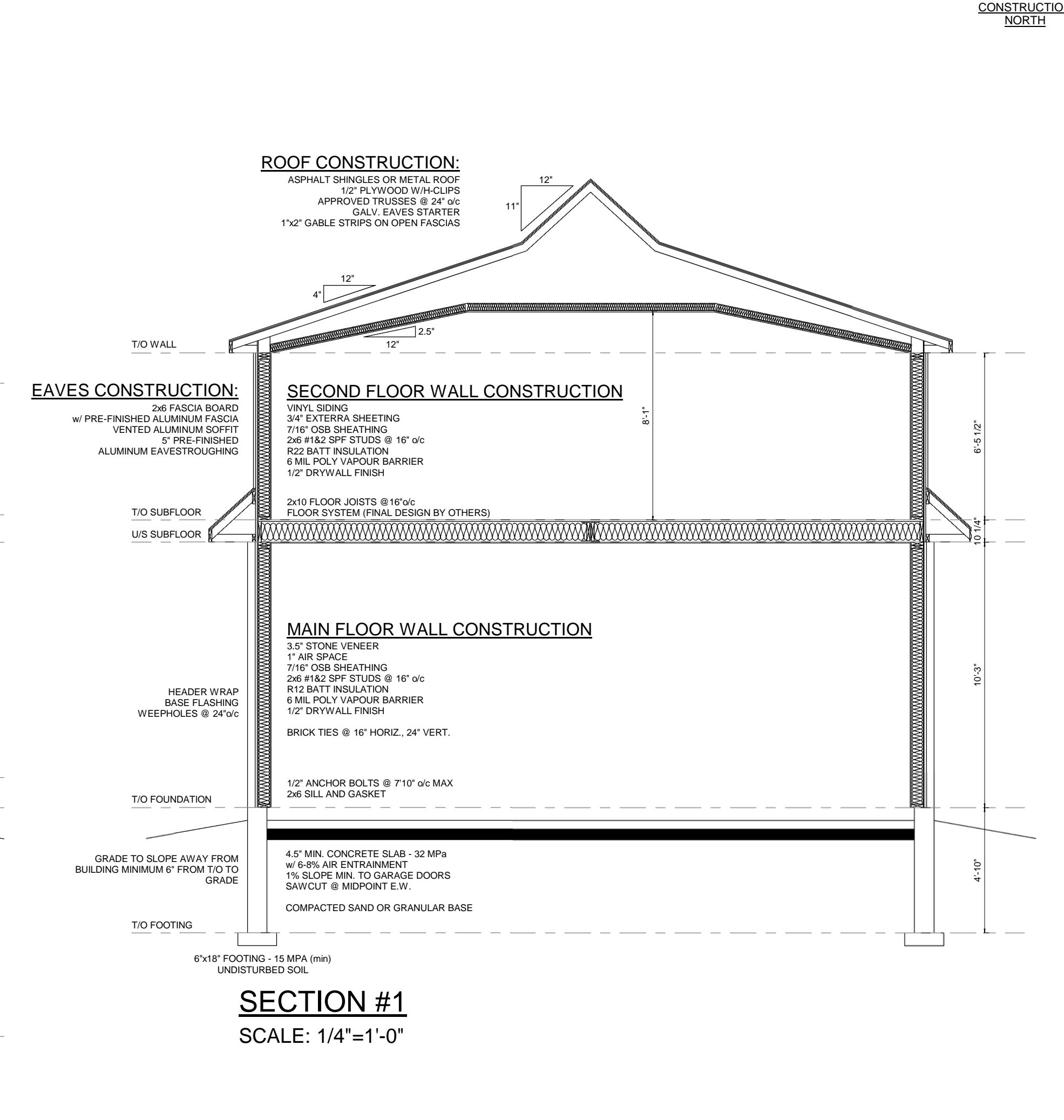
THESE DRAWINGS ARE THE PROPERTY OF HMM DESIGN AND DRAFTING SERVICE AND KB DESIGN AS PART OF EVEREST ESTATE HOMES



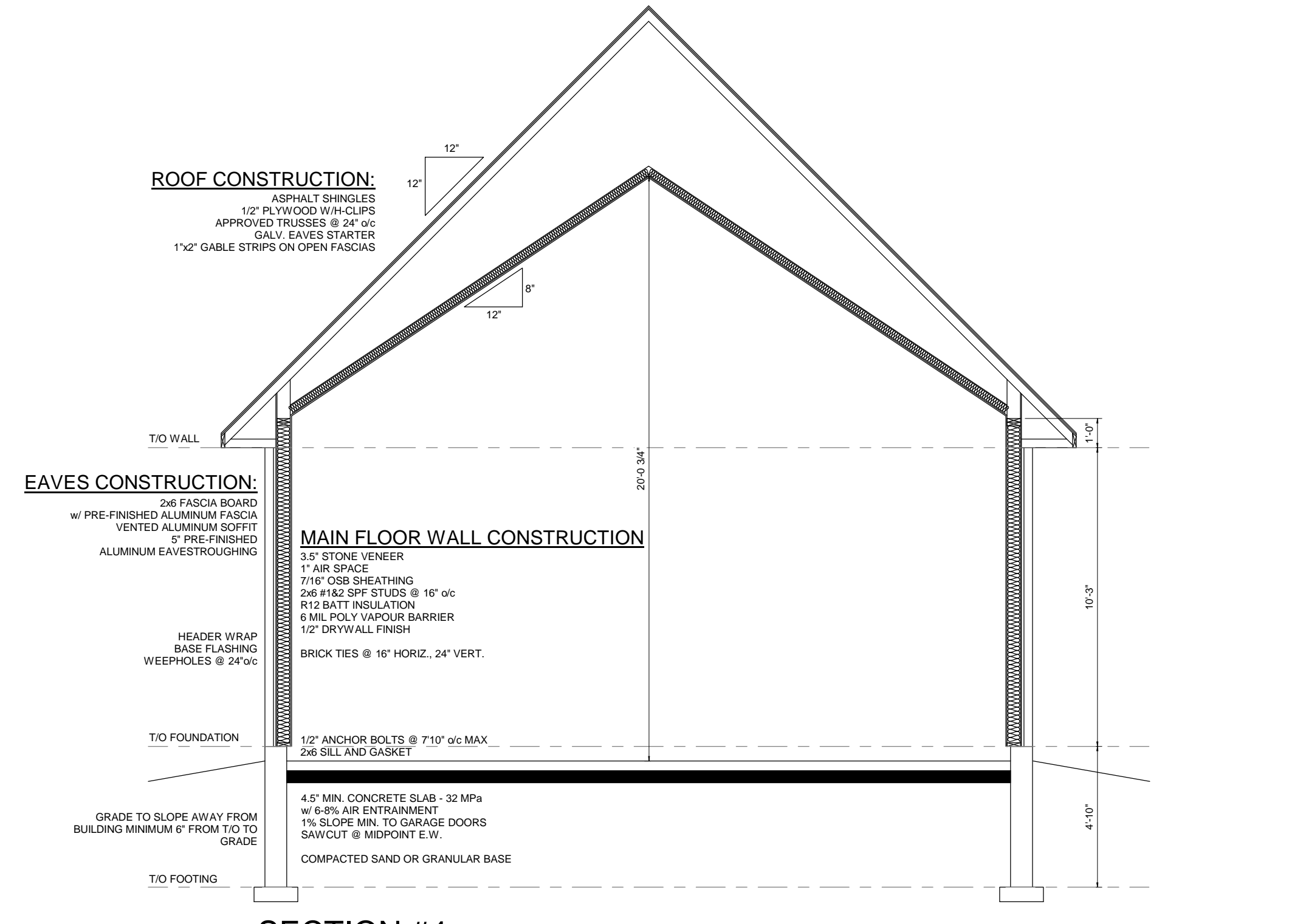
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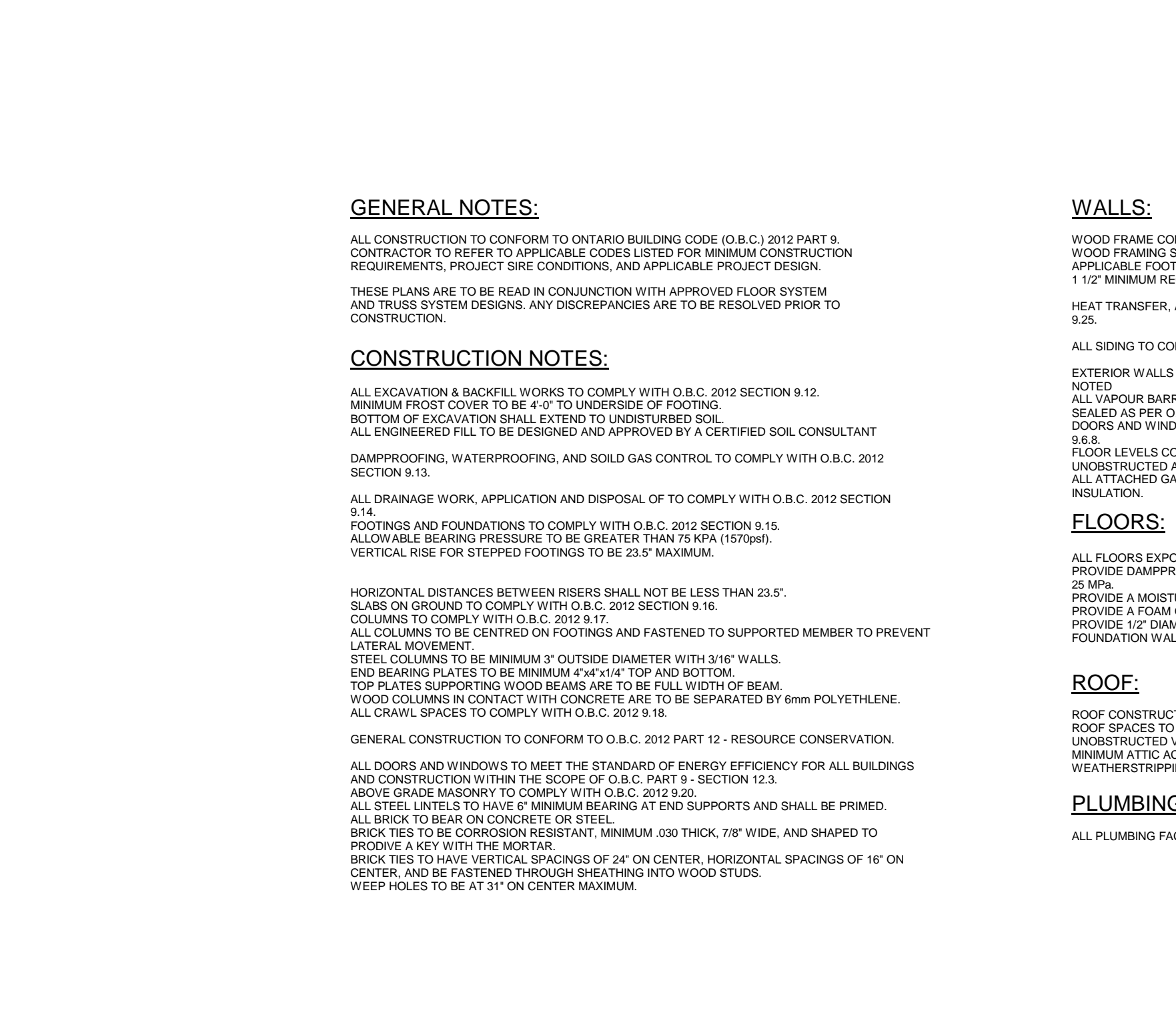
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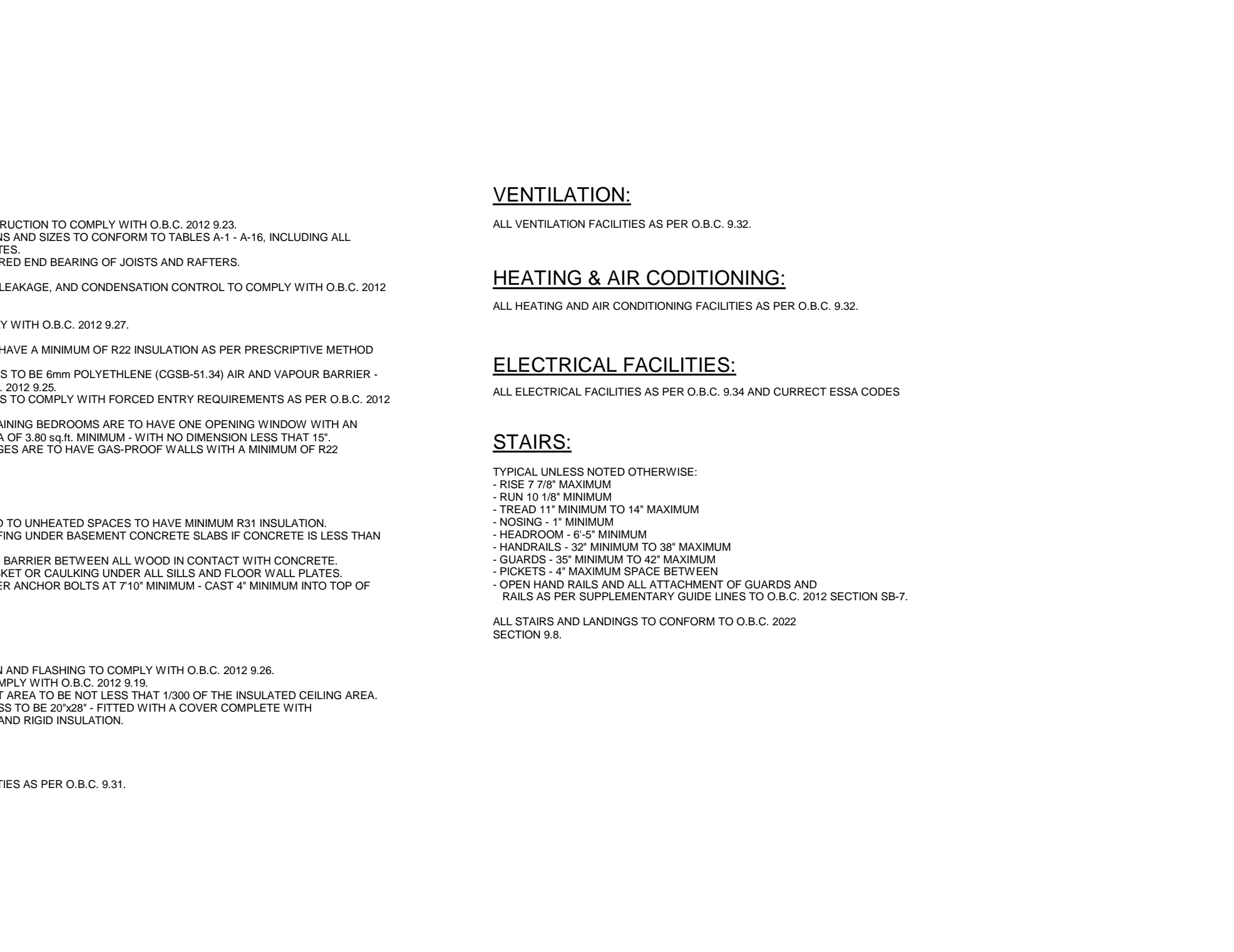
SECTION #1
SCALE: 1/4"=1'-0"



SECTION #4
SCALE: 1/4"=1'-0"



SECTION #5
SCALE: 1/4"=1'-0"



SECTION #6
SCALE: 1/4"=1'-0"

DESIGN LOADS

GROUND SNOW LOAD
2.0kPa (INCLD) 35.0kPa (8.25psf)

ROOF DEAD LOAD
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING

WIND LOADS
1.50 - 0.44kPa (3.19psf), 11% FOR DEFLECTION - 0.34kPa (7.10psf)

MIN. SOL. BEARING CAPACITY - 75 kPa

S.P.F. #1&2 LINTELS UP TO 2.0KPA - ROOF/CEILING/1 STORY

ALL HEADERS TO BE 2x10 UNLESS OTHERWISE NOTED

NO. STRUCT. SHEATHING	STRUCT. SHEATHING
(2) 2x4 - 2'x12"	(2) 2x4 - 4'-4"
(2) 2x4 - 2'x12"	(2) 2x4 - 4'-4"
(2) 2x4 - 5'-1"	(2) 2x4 - 5'-10"
(2) 2x10 - 6'-2"	(2) 2x10 - 7'-1 1/2"
(2) 2x12 - 7'-10"	(2) 2x12 - 8'-1"

STEEL LINTELS: UP TO 50mm BRICK

UP TO 2.47m (8'-1") - 89#9x6.4mm

UP TO 2.66m (8'-8") - 102#9x6.4mm

UP TO 3.31m (10'-10") - 127#8x7.9mm

STEEL LINTELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 89#9x6.4mm

UP TO 3.77m (12'-4") - 152#8x13.3mm

S.P.F. #1&2 ROOF RAFTERS UP TO 2.0KPA - MAXIMUM SPANS

12" o/c	16" o/c	24" o/c
24	8'-1"	7'-4"
26	12'-9"	11'-7"
28	16'-9"	15'-2 1/2"
210	21'-4 1/2"	19'-1"
212	25'-7"	22'-2"

ALL POINT LOADS FROM ROOF TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION. BEARING STUDS AS PER TABLE 3.4.3.3 (B.23.10.7.2)

INTER-CONNECTED SMOKE & CO. DETECTOR INSTALL AS PER MANUFACTURERS SPECIFICATIONS W/ STROBE

ALL SMOKE & CO. DETECTORS MUST BE PROVIDED WITH A BATTERY BACKUP THAT IS CAPABLE OF SUPPLYING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (P) (BENEFITING 2.1.12.10)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH R-1.025

COMPLIANCE PACKAGE AS (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.
CEILING WITHOUT ATTIC SPACE - R31 MIN.
EXPOSED FLOOR - R25 MIN.
WALLS ABOVE GRADE - R19 MIN., R5 C1
BASEMENT WALLS - R12 + R5 C1 MIN. (OR R5 C1)
EDGE BELOW GRADE SLAB - 5'24" BELOW GRADE - R10 MIN.
HEATED SLAB OR SLAB 5'24" BELOW GRADE - R15 MIN.
WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25
SKYLIGHTS MAX. U-0.49
SPACE HEATING EQUIPMENT MIN. AFUE - 84%
HRV MIN. EFFICIENCY 70%
D.H.W. HEATER MIN. EF - 0.80

GROSS WALL AREA - 3801.0 SQ. FT.
GROSS WINDOWS, GLASS AREA ETC. - 645.0 SQ. FT.
RATIO - 16.9%

PROVIDE SOLID FLOORING IN WALLS BESIDE & BEHIND TOILET, TUB & SHOWER FOR FUTURE GRAB BARS

ELECTRICAL OUTLET FOR ELECTRIC VEHICLE AS PER 2012 OBC 3.3.4.4. PROVIDE 200 AMP PANEL INSTALL 475 SF ELECTRICAL CABINETS INSTALLED GARAGE, CARPORT, OR ADJACENT DRIVEWAY
PROVIDE 1" CONDUIT TO BOX WITH MEANS TO PULL CABLE THROUGH IT TO PROVIDE FUTURE HOODUP

GENERAL NOTES:

ALL CONSTRUCTION TO CONFORM TO ONTARIO BUILDING CODE (O.B.C.) 2012 PART 9. CONTRACTOR TO REFER TO APPLICABLE CODES LISTED FOR MINIMUM CONSTRUCTION REQUIREMENTS, PROJECT SITE CONDITIONS, AND APPLICABLE PROJECT DESIGN.

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH APPROVED FLOOR SYSTEM AND TRUSS SYSTEM DESIGNS. ANY DISCREPANCIES ARE TO BE RESOLVED PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES:

ALL EXCAVATION & BACKFILL WORKS TO COMPLY WITH O.B.C. 2012 SECTION 9.12. MINIMUM FROST COVER TO BE 4'-0" TO UNDERSIDE OF FOOTINGS. BOTTOM OF EXCAVATION SHALL EXTEND TO UNDISTURBED SOIL. ALL ENGINEERED FILL TO BE DESIGNED AND APPROVED BY A CERTIFIED SOIL CONSULTANT SECTION 9.13.

DAMP-PROOFING, WATER-PROOFING, AND SOIL GAS CONTROL TO COMPLY WITH O.B.C. 2012 SECTION 9.13.

ALL DRAINAGE WORK, APPLICATION AND DISPOSAL OF TO COMPLY WITH O.B.C. 2012 SECTION 9.14.

FOOTINGS AND FOUNDATIONS TO COMPLY WITH O.B.C. 2012 SECTION 9.15. ALLOWABLE BEARING PRESSURE TO BE GREATER THAN 75 kPa (157psf). VERTICAL RISE FOR STEPPED FOOTINGS TO BE 23.5' MAXIMUM.

HORIZONTAL DISTANCES BETWEEN RISERS SHALL NOT BE LESS THAN 23.5'. SLABS ON GROUND TO COMPLY WITH O.B.C. 2012 SECTION 9.16. COLUMNS TO COMPLY WITH O.B.C. 2012 9.17. ALL COLUMNS TO BE CENTERED ON FOOTINGS AND FASTENED TO SUPPORTED MEMBER TO PREVENT LATERAL MOVEMENT. STEEL COLUMNS TO BE MINIMUM 3" OUTSIDE DIAMETER WITH 3/16" WALLS. END BEARING PLATES TO BE MINIMUM 4"x4"x14" TOP AND BOTTOM. TOP PLATES SUPPORTING WOOD BEAMS ARE TO BE FULL WIDTH OF BEAM. WOOD COLUMNS IN CONTACT WITH CONCRETE ARE TO BE SEPARATED BY 6mm POLYETHYLENE. ALL CRAWL SPACES TO COMPLY WITH O.B.C. 2012 9.18.

GENERAL CONSTRUCTION TO CONFORM TO O.B.C. 2012 PART 12 - RESOURCE CONSERVATION.

ALL DOORS AND WINDOWS TO MEET THE STANDARD OF ENERGY EFFICIENCY FOR ALL BUILDINGS AND CONSTRUCTION WITHIN THE SCOPE OF O.B.C. PART 9 - SECTION 12.3. ABOVE GRADE MASONRY TO COMPLY WITH O.B.C. 2012 9.20. ALL STEEL LINTELS TO HAVE 6" MINIMUM BEARING AT END SUPPORTS AND SHALL BE PRIMED. ALL BRICK TO BEAR ON CONCRETE OR STEEL. BRICK TIES TO BE CORROSION RESISTANT, MINIMUM 230 THICK, 7/8" WIDE, AND SHAPED TO PROVIDE A KEY WITH THE MORTAR. BRICK TIES TO HAVE VERTICAL SPACINGS OF 24" ON CENTER, HORIZONTAL SPACINGS OF 16" ON CENTER, AND BE FASTENED THROUGH SHEATHING INTO WOOD STUDS. WEEP HOLES TO BE AT 31" ON CENTER MAXIMUM.

WALLS:

WOOD FRAME CONSTRUCTION TO COMPLY WITH O.B.C. 2012 9.23. WOOD FRAMING SPANS AND SIZES TO CONFORM TO TABLES A-1 - A-16, INCLUDING ALL APPLICABLE FOOTNOTES. 1 1/2" MINIMUM REQUIRED END BEARING OF JOISTS AND RAFTERS.

HEAT TRANSFER, AIR LEAKAGE, AND CONDENSATION CONTROL TO COMPLY WITH O.B.C. 2012 9.25.

ALL SIDING TO COMPLY WITH O.B.C. 2012 9.27.

EXTERIOR WALLS TO HAVE A MINIMUM OF R22 INSULATION AS PER PRESCRIPTIVE METHOD NOTED. ALL VAPOUR BARRIERS TO BE 6mm POLYETHYLENE (CGSB-51.34) AIR AND VAPOUR BARRIER - SEALED AS PER O.B.C. 2012 9.25. DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS AS PER O.B.C. 2012 9.8.8. FLOOR LEVELS CONTAINING BEDROOMS ARE TO HAVE ONE OPENING WINDOW WITH AN UNDISTRICTED AREA OF 3.85 sq. ft. MINIMUM - WITH NO DIMENSION LESS THAN 16". ALL ATTACHED GARAGES ARE TO HAVE GAS-PROOF WALLS WITH A MINIMUM OF R22 INSULATION.

FLOORS:

ALL FLOORS EXPOSED TO UNHEATED SPACES TO HAVE MINIMUM R31 INSULATION. PROVIDE DAMP-PROOFING UNDER BASEMENT CONCRETE SLABS IF CONCRETE IS LESS THAN 25 MPa. PROVIDE A MOISTURE BARRIER BETWEEN ALL WOOD IN CONTACT WITH CONCRETE. PROVIDE A FOAM GASKET OR CALKING UNDER ALL SILLS AND FLOOR WALL PLATES. PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 7'10" MINIMUM - CAST 4" MINIMUM INTO TOP OF FOUNDATION WALL.

ROOF:

ROOF CONSTRUCTION AND FLASHING TO COMPLY WITH O.B.C. 2012 9.26. ROOF SPACES TO COMPLY WITH O.B.C. 2012 9.15. UNDISTRICTED VENT AREA TO BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. MINIMUM ATTIC ACCESS TO BE 20'28" - FITTED WITH A COVER COMPLETE WITH WEATHERSTRIPPING AND RIGID INSULATION.

PLUMBING:

ALL PLUMBING FACILITIES AS PER O.B.C. 9.31.

VENTILATION:

ALL VENTILATION FACILITIES AS PER O.B.C. 9.32.

HEATING & AIR CONDITIONING:

ALL HEATING AND AIR CONDITIONING FACILITIES AS PER O.B.C. 9.32.

ELECTRICAL FACILITIES:

ALL ELECTRICAL FACILITIES AS PER O.B.C. 9.34 AND CURRENT ESSA CODES

STAIRS:

TYPICAL UNLESS NOTED OTHERWISE:

- RISE 7 7/8" MAXIMUM
- RUN 10 1/8" MINIMUM
- TREAD 11" MINIMUM TO 14" MAXIMUM
- NOSING - 1" MINIMUM
- HEADROOM - 6'-5" MINIMUM
- HANDRAILS - 32" MINIMUM TO 38" MAXIMUM
- GUARDS - 35" MINIMUM TO 42" MAXIMUM
- PICKETS - 4" MAXIMUM SPACE BETWEEN
- OPEN HAND RAILS AND ALL ATTACHMENT OF GUARDS AND RAILS AS PER SUPPLEMENTARY GUIDE LINES TO O.B.C. 2012 SECTION SB-7.

ALL STAIRS AND LANDINGS TO CONFORM TO O.B.C. 2022 SECTION 9.8.

T. HAMM DESIGN AND DRAFTING SERVICE
BCIN# 45374

TRAVIS HAMM
BCIN# 23275

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C of the Building Code. I am qualified and the firm is registered in the appropriate classes/categories.

T. Hamm Design & Drafting Service
Residential and Small Building Design
21 HWY 24 E.
St. Williams, ON
N0E1P0
Tel: 519-586-3442
Email: t.hamm@tdsdesign.com

SECTIONS

MYERS REBUILD

290 PITTOCK PARK RD., WOODSTOCK, ON

DESIGNED BY: PIETER KUIVENHOVEN

CHECKED BY: TRAVIS HAMM

DATE: 2023-01-20 9:50:13 AM

As indicated **A10**

Regulations Inquiry - EXTERNAL EXTERNAL RE: 290 Pittock Park Rd. (City of Woodstock)

From: Nathan | Everest Estate Homes <nathan@everestestatehomes.com>
To: Ben Dafoe <dafoeb@thamesriver.on.ca>
Date: 2023-01-23 8:52 AM
Subject: EXTERNAL EXTERNAL RE: 290 Pittock Park Rd. (City of Woodstock)
Attachments: img382.pdf

Good morning!

Its adding a second floor to the existing dwelling and a garage along with some renovations.

Kind regards,

Nathan Kok
Everest Estate Homes Inc.
Box 8
Otterville, ON N0J 1R0
nathan@everestestatehomes.com
[519-788-8599](tel:519-788-8599)

From: Ben Dafoe <dafoeb@thamesriver.on.ca>
Sent: January 23, 2023 8:46 AM
To: Nathan | Everest Estate Homes <nathan@everestestatehomes.com>
Subject: RE: 290 Pittock Park Rd. (City of Woodstock)

Hi Nathan,

This looks to be design for a replacement structure-can you please confirm.

Thanks,

UPPER THAMES RIVER
CONSERVATION AUTHORITY

Ben Dafoe

Land Use Regulations Officer
Upper Thames River Conservation Authority
BSc. BEd.

1424 Clarke Road London, Ontario N5V 5B9
[519-451-2800](tel:519-451-2800) Ext 316
dafoeb@thamesriver.on.ca

>>> Nathan | Everest Estate Homes <nathan@everestestatehomes.com> 2023-01-20 10:05 AM >>>
Good morning!

As per yesterday's discussion,

Please see the attached design.

I look forward to hearing back from you,

Kind regards,

Nathan Kok
Everest Estate Homes Inc.
Box 8
Otterville, ON N0J 1R0
nathan@everestestatehomes.com
[519-788-8599](tel:519-788-8599)

From: Nathan | Everest Estate Homes
Sent: January 19, 2023 5:21 PM
To: Ben Dafoe <dafoeb@thamesriver.on.ca>
Subject: RE: 290 Pittock Park Rd. (City of Woodstock)

Good afternoon,

Yes, we have been retained by Ian Myers to complete this project on his behalf.

You'll notice the only grading within 15 M of the adjacent drain proposed is to avoid pooling. We can maintain the exact grades in that 15 M area; however we are not changing flow patterns, just ensuring a proper 2% grade is maintained. Let me know if I need to show the existing grades as the proposed grades.

I'll get you a copy of our proposed building plans to date.

Thank you for your prompt response.

Kind regards,

Nathan Kok
Everest Estate Homes Inc.
Box 8
Otterville, ON N0J 1R0
nathan@everestestatehomes.com
[519-788-8599](tel:519-788-8599)

From: Ben Dafoe <dafoeb@thamesriver.on.ca>
Sent: January 19, 2023 4:17 PM
To: Nathan | Everest Estate Homes <nathan@everestestatehomes.com>
Subject: 290 Pittock Park Rd. (City of Woodstock)

Hi Nathan,

Wondering if you are working with Ian Myers for this project? We had a bit of preconsultation with Ian in 2021, but this was mostly limited to the additional shop and size/floodproofing requirements for permit.

UTRCA can confirm we have received your plan of survey. As previously mentioned, would you be able to send a set of building design drawings detailing the new garages as well as upper floor for staff review. Please indicate overall measurements of new additions (both second storey and shop/garage). Please also indicate development limit/setbacks from top of bank of the adjacent Benfield Drain. It appears some grading is being proposed within the previously communicated 15m setback from the adjacent drain-further discussion required here.

As mentioned on December 22, 2021, the development will be within the flooding hazard and further floodproofing requirements/design specifications will be required. This may include but will not be limited to specific finished floor elevations and sign off by a qualified professional for floodproofing. On that attached email, there is other permitting requirements as previously mentioned. A request has been made to our staff for a specific floodproofing elevation and we will await their response.

Further discussion will be needed regarding the second floor addition depending on what detailed design drawings are submitted.

Thanks,



Ben Dafoe

Land Use Regulations Officer
Upper Thames River Conservation Authority
BSc. BEd.

1424 Clarke Road London, Ontario N5V 5B9
(519) 451-2800 Ext 316
dafoeb@thamesriver.on.ca

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RegulationsInquiry - RE: 290 Pittock Park Rd. (City of Woodstock)

From: Ben Dafoe
To: Nathan | Everest Estate Homes
Date: 2023-02-16 10:54 AM
Subject: RE: 290 Pittock Park Rd. (City of Woodstock)
CC: Brad Dryburgh

Hi Nathan,

An applicant is always afforded an opportunity for a hearing before the Board for an application which has been refused at a staff level. During the hearings process staff of the UTRCA present the reasons supporting the recommendation for the refusal or conditions of approval of the application. Currently, we do not have enough information to make a recommendation to the board. Could you please provide the following information:

- the calculations for the %increase in size of both aspects of the addition (garage, second floor in garage and second floor above current home). % increase follows the process outlined in our last email- please include the proposed deck on the North end of the home. Calculations will then be confirmed with staff. If there are any opportunities to reduce the size of the current proposal to less than 50% of an increase (provided safe access and floodproofing of structure), UTRCA would have no objections at a staff level to the hearings committee and the hearing could be streamlined. If size increase is greater than 50% a full hearing would be required and UTRCA staff would recommend refusal or a reduction in addition size as a condition to the hearings committee.
- if a basement is being used for a total gross floor area, UTRCA staff requests permission to visit the site with the applicant to review if it qualifies as habitable space.
- UTRCA staff have provided a flood-proofing requirement of 297.8m (1928-GGVD). As mentioned UTRCA policies would not support new openings (doors, windows, servicing vents, etc.) below that elevation that would result in a structure becoming more flood-prone. There may be some issues with the proposed window size increase on the South end of the existing home. This elevation will guide your team providing sign off from a qualified professional engineer (with experience in floodproofing structures) that the new addition is floodproofed to the greatest extent feasible. Engineering is the determinant of feasibility. If sign off is not provided by a qualified professional, UTRCA staff would recommend refusal to the hearings committee or this to be a condition of approval to include in a permit submission.
- UTRCA staff will also require a review of the current plans to the second story (onto the existing home) by a qualified geotechnical engineer with experience in review of structural integrity. The qualified professional must complete a geotechnical study to determine the risk of the proposed work. The study will include an assessment of the stability of the valley wall, rate of erosion or recession of the valley wall, access issues and an assessment of the construction technique on the valley wall. The design of any works must ensure that the long term stability of the valley wall is maintained and that no risk to life or property damage is anticipated. Without this review included in the application, UTRCA would recommend refusal to the hearings committee or this be a condition of approval to include in a permit application.
- UTRCA staff would require any grading to be set back 15m from top of bank of the adjacent Benfield Municipal Drain.
- Please see link to UTRCA Hearing Guidelines for more information- <https://thamesriver.on.ca/wp-content/uploads/UTRCA-HearingGuidelines-October2021.pdf>

Perhaps we set up a site visit or phone call to go through each point and determine the applicants willingness to provide the required supplementary information to guide our recommendation to the board.

Thank you,

Ben Dafoe



Ben Dafoe

Land Use Regulations Officer
Upper Thames River Conservation Authority
BSc. BEd.

1424 Clarke Road London, Ontario N5V 5B9
[\(519\) 451-2800](tel:5194512800) Ext 316
dafoeb@thamesriver.on.ca

>>> Nathan | Everest Estate Homes <nathan@everestestatehomes.com> 2023-02-10 4:25 PM >>>
Hi Ben!

I'm hopeful to keep this project moving.

As you know the industry is slowing down significantly and this customer is eager to see the build continue.

I look forward to seeing what we can do to expedite this to a Hearing.

Kind regards,

Nathan Kok
Everest Estate Homes Inc.
Box 8
Otterville, ON N0J 1R0
nathan@everestestatehomes.com
[519-788-8599](tel:5197888599)

From: Ben Dafoe <dafoeb@thamesriver.on.ca>
Sent: Wednesday, February 1, 2023 1:52 PM
To: Nathan | Everest Estate Homes <nathan@everestestatehomes.com>
Cc: Brad Dryburgh <DryburghB@thamesriver.on.ca>
Subject: RE: 290 Pittock Park Rd. (City of Woodstock)

Hi Nathan,

In order for an application to go to the Hearings Committee, it needs to be a complete application. This would

include any required engineering or geotechnical opinion to support the development and justify the proposal (which as proposed will require this). A complete application would require floodproofing of the development. We are hoping to get a regulatory flood hazard elevation estimate from technical staff soon (it has been requested and is in queue). Once we have a floodproofing elevation, we can get a full list of permitting requirements for you. Essentially, we have a list, but waiting on a flood hazard elevation update to refine requirements.

We will advise as soon as we can secure this information.

Thanks,



Ben Dafoe

Land Use Regulations Officer
Upper Thames River Conservation Authority
BSc. BEd.

1424 Clarke Road London, Ontario N5V 5B9
[519](tel:5194512800) 451-2800 Ext 316
dafoeb@thamesriver.on.ca

>>> Nathan | Everest Estate Homes <nathan@everestestatehomes.com> 2023-02-01 11:46 AM >>>

Good morning!

Just checking in on this,

Please advise,

Kind regards,

Nathan Kok
Everest Estate Homes Inc.
Box 8
Otterville, ON N0J 1R0
nathan@everestestatehomes.com
[519-788-8599](tel:5197888599)

From: Nathan | Everest Estate Homes
Sent: Monday, January 30, 2023 7:36 PM
To: Ben Dafoe <dafoeb@thamesriver.on.ca>
Cc: Brad Dryburgh <DryburghB@thamesriver.on.ca>
Subject: RE: 290 Pittock Park Rd. (City of Woodstock)

Good evening,

It appears this application may be beyond the ability for the regulations staff to support.

Is there opportunity to bring it right to the hearings committee for consideration?

I look forward to hearing back from you,

Kind regards,

Nathan Kok
 Everest Estate Homes Inc.
 Box 8
 Otterville, ON NOJ 1R0
nathan@everestestatehomes.com
[519-788-8599](tel:519-788-8599)

From: Ben Dafoe <dafoeb@thamesriver.on.ca>
Sent: Monday, January 30, 2023 3:32 PM
To: Nathan | Everest Estate Homes <nathan@everestestatehomes.com>
Cc: Brad Dryburgh <DryburghB@thamesriver.on.ca>
Subject: RE: 290 Pittock Park Rd. (City of Woodstock)

Hi Nathan,

As a follow up to our conversation last week, we were able to review the proposal as a regulations staff. In review of the submission, UTRCA can offer the following comments:

- A request has been made with technical staff for an updated elevation to guide floodproofing/access requirements.
- Addition policy permits a maximum 50% increase in size if safe access can be achieved AND the building is floodproofed to the level of the regulatory flood hazard elevation. If one or both of these qualifiers cannot be achieved, the maximum increase is reduced to 25%. Percentage increases are based on gross floor area and footprint size (in other words, one is limited to an increase in footprint size, but also limited to the total amount of new space created based on the gross floor area total).
 - gross floor area is based on amount of habitable space currently in the residence. If there is a basement, and the basement is finished/habitable (meets minimum requirements), it qualifies as living space. This can be added to the total to calculate the %increase size in gross floor area. In some select instances basement areas may qualify as current habitable space if they meet the proper height, window egress and have previously been utilized as finished/habitable space. A site visit may be required to confirm habitable space below grade.
- This should provide enough information to see if the current proposal keeps within the 50% cap on gross floor area (provided safe access and floodproofing can be achieved to the level of the Regulatory Flood). Footprint size of the proposed garage addition should be fine as currently proposed at 50% given previous consultation in 2021, but this would not address the second floor in the currently proposed garage and main house.
- The currently proposed second story is also within the erosion hazard associated with a watercourse (also

known as the Benfield Municipal Drain) and within the required 15m setback. Because slope stability is a concern here and the proposal is within the erosion hazard, we would not be able to accept the proposal of the second floor addition at a staff level without a favourable geotechnical report and likely a Hearing before our Hearings Committee.

- UTRCA policies generally do not support filling/grading within the 15m setback. As understood, this was proposed to avoid pooling, but the UTRCA would require to keep this. This is to prevent erosion and to maintain the area as flood storage and would not permit fill in the floodplain.
- The current proposed deck on the North portion of existing home would also not be permitted within the 15m setback as previously communicated.
- The currently proposed modifications to foundation openings within the existing home would need to be reviewed and approved. Confirmation of floodproofing of these newly proposed opening would be required. UTRCA policies would not support new openings (doors, windows, servicing vents, etc.) that would result in a structure becoming more flood-prone.
- The plan denotes this is a "rebuild". Please clarify-Acknowledging our phone conversation, there may be better opportunity and application of policy if you are in fact rebuilding/removing/replacing foundation of the existing structure. If this in fact a rebuild, including new foundation/footings there may be some opportunity to relocate the structure outside of the erosion hazard and the minimum watercourse setback. The new proposed location would require confirmation through a geotechnical study. This may allow for the proposed second floor, provided the size increases (Gross Floor Area and Footprint) are maintained within standards noted above.

To be clear, UTRCA would be more supportive of a complete rebuild and relocation of the residence further back (ideally 15 metres) from the watercourse and erosion hazard, but we also recognize that may not be in the homeowners plans. As mentioned, as proposed with the second floor, this plan would require a hearing before our board for ultimate approval. Size limitations and geotechnical support would determine whether we would object to the proposal at a staff level.

If the proposal is changed to limit the development to the garage (15m set back from top of bank and flood-proofed), provided this fits within UTRCA staff approved size parameters, a hearing and geotechnical support would be avoided. Before looking further into the proposal, the above points would need to be addressed.

Thank you,



Ben Dafoe

Land Use Regulations Officer
Upper Thames River Conservation Authority
BSc. BEd.

1424 Clarke Road London, Ontario N5V 5B9
[\(519\) 451-2800](tel:5194512800) Ext 316
dafoeb@thamesriver.on.ca

>>> Nathan | Everest Estate Homes <nathan@everestestatehomes.com> 2023-01-23 8:51 AM >>>
Good morning!

Its adding a second floor to the existing dwelling and a garage along with some renovations.

Kind regards,

Nathan Kok
Everest Estate Homes Inc.
Box 8
Otterville, ON N0J 1R0
nathan@everestestatehomes.com
[519-788-8599](tel:519-788-8599)

From: Ben Dafoe <dafoeb@thamesriver.on.ca>
Sent: January 23, 2023 8:46 AM
To: Nathan | Everest Estate Homes <nathan@everestestatehomes.com>
Subject: RE: 290 Pittock Park Rd. (City of Woodstock)

Hi Nathan,

This looks to be design for a replacement structure-can you please confirm.

Thanks,



Ben Dafoe

Land Use Regulations Officer
Upper Thames River Conservation Authority
BSc. BEd.

1424 Clarke Road London, Ontario N5V 5B9
[519](tel:519-451-2800) 451-2800 Ext 316
dafoeb@thamesriver.on.ca

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I'll get you a copy of our proposed building plans to date.

Thank you for your prompt response.

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Thanks,



Ben Dafoe

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BSc. BEd.

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RegulationsInquiry - 290 Pittock Park Rd. (City of Woodstock)

From: Ben Dafoe
To: [REDACTED]
Date: 2023-03-08 10:30 AM
Subject: 290 Pittock Park Rd. (City of Woodstock)
CC: Brad Dryburgh; Eric Gaskin; Laura Biancolin; nathan@evereststatehome...
BC: Ben Dafoe

Hi Ian,

As a follow up to our site visit last Thursday, March 2. Below is a list of some of our discussions on site and some questions to yourself and Nathan to confirm we are all on the same page. Further internal discussions will be required as staff to address some of these additional questions.

- An enclosure to the Benfield Drain was discussed. This would require support from the UTRCA in the form of a S28 permit. Major flood plain alterations and major watercourse alterations (including enclosures) are generally not permitted. There is an option that can be exercised through the drainage act (as Nathan mentioned), but this would still require UTRCA approvals through the permitting process as well as added delays to the project.
- UTRCA would not support grading/filling in the yard within 15m of the Benfield drain as detailed on the grading plan provided.
- The UTRCA would not support a "phasing process" of 2 separate applications, where the second floor addition would be initially permitted, and then at a later date the garage was applied for through a s28 permit.
- Please note, we would not be able to support the current application to the board at a staff level due to the proposed size increase in gross floor area. It was communicated on site, there is no intention to reduce size of proposed structure.
- Pertinent studies required to support a permit application. (given board approval in concept):
 - A qualified professional must complete a geotechnical study to determine the risk of the proposed work. The study will include an assessment of the stability of the valley wall, rate of erosion or recession of the valley wall, access issues and an assessment of the construction technique on the valley wall. The design of any works must ensure that the long-term stability of the banks of the Benfield Drain is maintained that no risk to life or property damage is anticipated. If sign off is not provided by a qualified professional, UTRCA staff would recommend refusal to the hearings committee or this to be a condition of approval to include in a permit submission.
 - Sign off from a qualified professional engineer (with experience in flood proofing structures) that the new addition is flood proofed to the greatest extent feasible. UTRCA staff have previously proved a flood-proofing requirement of 297.8m (1928 GGVD). Engineering is the determinant of feasibility. If sign off is not provided by a qualified professional, UTRCA staff would recommend refusal to the hearings committee or this to be a condition of approval to include in a permit submission.
- Given the nature of the proposal and subsequent site visit assessment (including our review of the existing basement), we advise this application falls under replacement structure policy. We discussed the potential of relocating the proposed home minimum 3m East (away from Benfield Drain) to maintain "best efforts to relocate the existing structure outside of the hazard". This would need to be reflected on a new site/grading plan. I have cc'd UTRCA planning staff, as a minor variance would be likely required for a

reduced front yard setback to accommodate the addition. UTRCA would be supportive of a relocation on this property.

- An opportunity for a bank stabilization of the Benfield Drain was discussed. **Please advise if you would like our engineering staff to come out for a site visit to advise on any opportunities/constraints of a project of this nature.** We had discussed of the potential of wrapping an erosion mitigation project as part of the application-we could potentially help in this regard in providing some engineering expertise.

Please advise on the above points to confirm the direction/intent of your proposal. This will help shape what the application to the board will look like and help determine steps moving forward.

Thanks,



Ben Dafoe

Land Use Regulations Officer
Upper Thames River Conservation Authority
BSc. BEd.

1424 Clarke Road London, Ontario N5V 5B9
[519](tel:(519)451-2800) 451-2800 Ext 316
dafoeb@thamesriver.on.ca

Site Visit Pictures March 2, 2023

Ben Dafoe, Brad Dryburgh

Brad Dryburgh



IMG_0550.JPEG 2023/03/02 11:14:39

Looking upstream (N) of Benfield Drain from NW corner of house

Brad Dryburgh



Deck access at NW corner of house, Benfield Drain downstream

Brad Dryburgh



IMG_0552.JPEG 2023/03/02 11:15:01

Looking down at Benfield Drain from deck at W side of house

Brad Dryburgh



Looking downstream (S) of Benfield Drain from deck at W of house

Brad Dryburgh



Looking directly down at Benfield Drain from deck at W side of house

Brad Dryburgh



IMG_0555.JPEG 2023/03/02 11:15:11

Looking downstream (S) of Benfield Drain from deck at W of house

Brad Dryburgh



Looking upstream (N) of Benfield Drain from NW corner of house

Brad Dryburgh



Looking (S) from deck at W of house

Brad Dryburgh



Basement with drop ceiling height of 6'4", bottom of floor joists 7'3"

Brad Dryburgh



IMG_0559.JPEG 2023/03/02 11:25:23

Basement with drop ceiling height of 6'4", bottom of floor joists 7'3"

Brad Dryburgh



IMG_0560.JPEG 2023/03/02 11:25:24

Basement with drop ceiling height of 6'4", bottom of floor joists 7'3"

Brad Dryburgh



Stairway access landing to garage

Brad Dryburgh



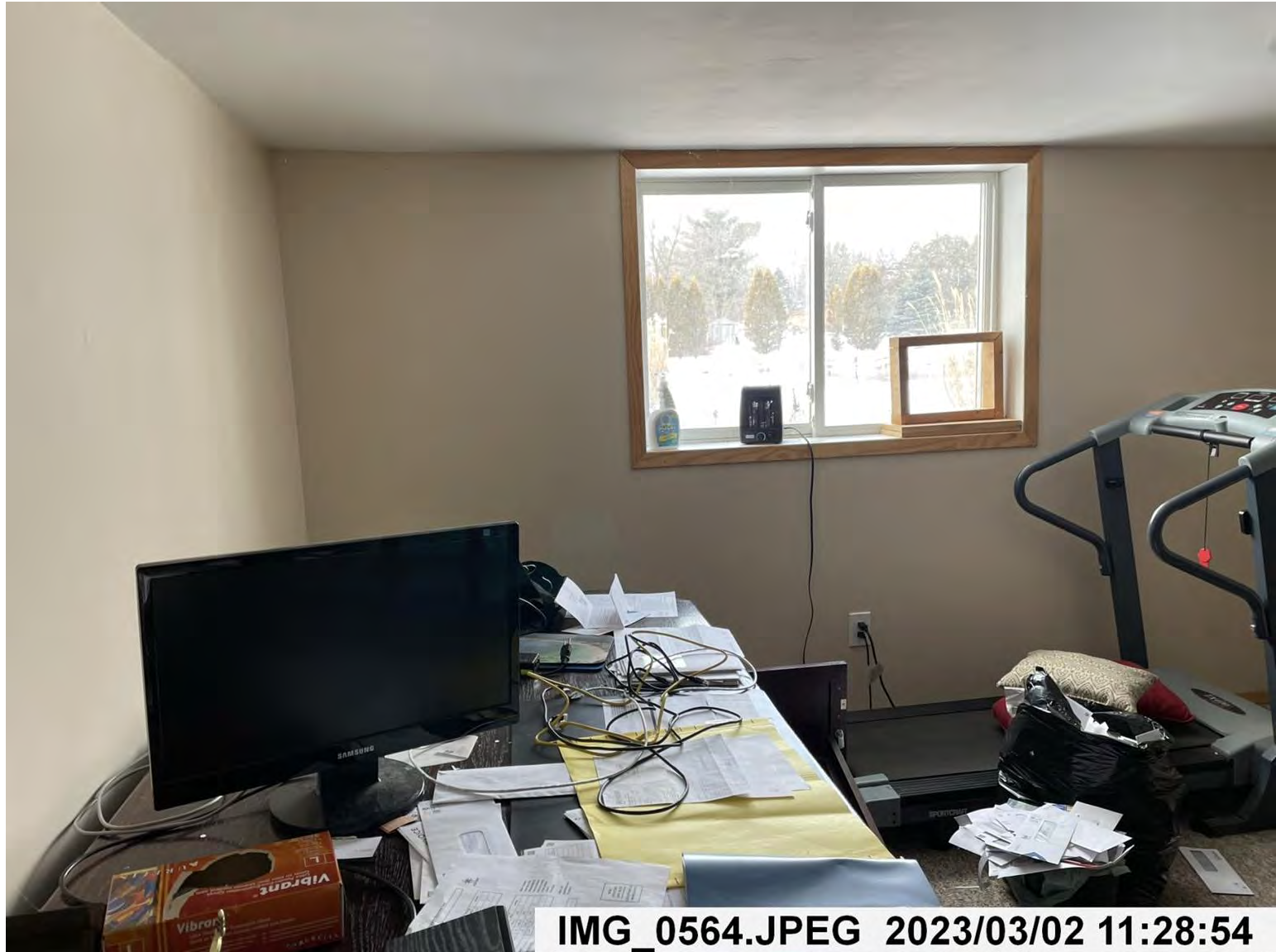
Basement with drop ceiling height of 6'4", bottom of floor joists 7'3"

Brad Dryburgh



Utility/storage room in basement

Brad Dryburgh



Basement office, window facing west to Benfield Drain

Brad Dryburgh



Utility/storage room in basement

Ben Dafoe



IMG_3129.JPG 2023/03/02 11:14:02

Deck access at NW corner of house, Benfield Drain downstream

Ben Dafoe



Looking downstream (S) of Benfield Drain from deck at W of house

LOT

PROPERTY DESCRIPTION:
PART OF LOT 5
CONCESSION 12
CITY OF WOODSTOCK
COUNTY OF ELGIN
P.I.N. 00134-0594

SKETCH
PREPARED FOR MINOR VARIANCE APPLICATION
FOR: EVEREST ESTATE HOMES
#290 PITTOCK PARK ROAD
P.I.N. 00134-0594

SCALE 1:200

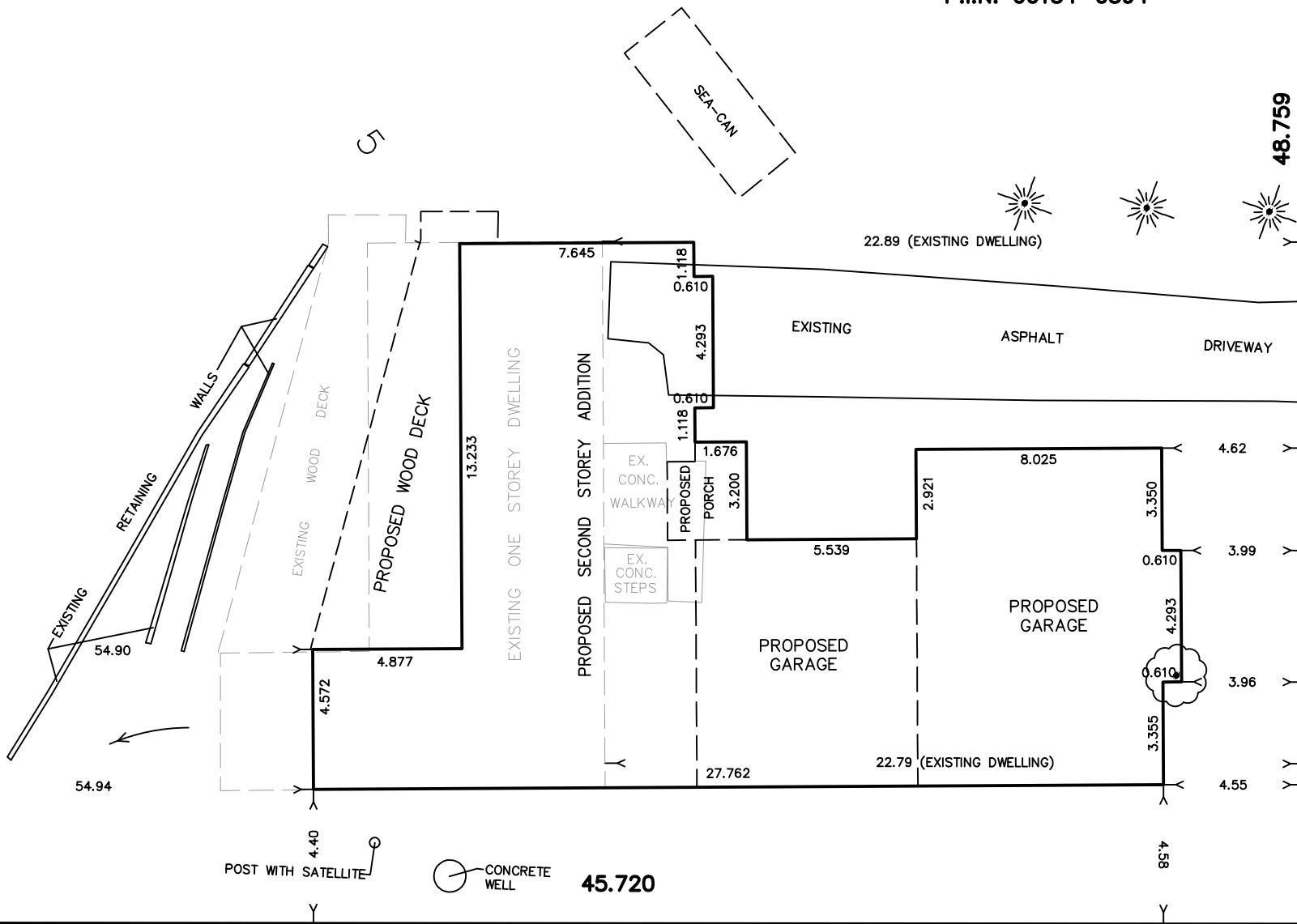


METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ZONED: R1-19

ZONE PROVISION	REQUIRED	PROPOSED
MAXIMUM LOT COVERAGE	40% FOR DWELLING HOUSE	5.1%
FRONT YARD DEPTH	6.0m	3.96m
REAR YARD DEPTH	7.5m	54.90m
INTERIOR SIDE YARD DEPTH	3.0m	4.40m



PITTOCK PARK ROAD
NORTH

PITTOCK PARK

BELL PEDESTAL

CONCRETE WELL

POST WITH SATELLITE

GARAGE

PART 1

41R - 551

72

74

CAUTION

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KIM HUSTED SURVEYING LTD.
ONTARIO LAND SURVEYOR
30 HARVEY STREET, TILSONBURG, ONTARIO, N4G 3J8
PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 22-18343MV

REFERENCE: FILE